



## 1.0 PROJECT REPORT COVER PAGE

### LICENSEE INFORMATION:

Contact Information:

Michael B. Henry CD BA FRAI FRSA  
Southwestern District Office  
237 Sanders Street East  
Exeter, ON N0M 1S1  
Phone: (519) 432-4435  
Email: [mhenry@amick.ca](mailto:mhenry@amick.ca)  
[www.amick.ca](http://www.amick.ca)

Licensee:

Michael B. Henry CD BA FRAI FRSA

Ontario Archaeology Licence:

P058

### PROJECT INFORMATION:

Corporate Project Number:

2022-662

MHSTCI Project Number:

P058-2080-2022

Investigation Type:

Stage 1 Archaeological Background Study

Project Name:

221 Fox Street

Project Location:

221 Fox Street, Penetanguishene, Part of Lot 116,  
Concession 1 (Geographic Township of Tiny), Town of  
Penetanguishene, County of Simcoe.

Project Designation Number:

Not Currently Available

### MHSTCI FILING INFORMATION:

Site Record/Update Form(s):

N/A

Date of Report Filing:

TBD

Type of Report:

**REVISED**

## **2.0 EXECUTIVE SUMMARY**

This report describes the results of the 2022 Stage 1 Archaeological Assessment of Project 2022-662: Stage 1 Archaeological Background Study for 221 Fox Street, Penetanguishene, Part of Lot 116, Concession 1 (Geographic Township of Tiny), Town of Penetanguishene, County of Simcoe, conducted by AMICK Consultants Limited. This study was conducted under Professional Archaeologist License #P058 issued to Michael Henry by the Minister of Heritage, Sport, Tourism and Culture Industries for the Province of Ontario. This assessment was undertaken as a requirement under the Planning Act (RSO 1990) and the Provincial Policy Statement (2020) in order to support a Development Application and companion Zoning By-Law Amendment as part of the pre-submission process. Within the land use planning and development context, Ontario Regulation 544/06 under the Planning Act (1990b) requires an evaluation of archaeological potential and, where applicable, an archaeological assessment report completed by an archaeologist licensed by the Ministry of Heritage, Sport, Tourism and Culture Industries (MHSTCI). Policy 2.6 of the Provincial Policy Statement (PPS 2020) addresses archaeological resources. All work was conducted in conformity with Ontario Ministry of Tourism and Culture (MTC) Standards and Guidelines for Consultant Archaeologists (MTC 2011), the Ontario Heritage Act (RSO 1990a).

AMICK Consultants Limited was engaged by the proponent to undertake a Stage 1 Archaeological Background Study of lands potentially affected by the proposed undertaking and was granted permission to carry out archaeological fieldwork. The entirety of the study area was subject to a desktop assessment on 1 February 2022. Most, but not the entirety, of the subject lands have been previously assessed. The assessed areas did not produce any evidence of archaeological deposits. Therefore, the archaeological condition for that part of the study area is considered to have been addressed. All records and documentation related to the conduct and findings of these investigations are held at the Lakelands District corporate offices of AMICK Consultants Limited until such time that they can be transferred to an agency or institution approved by the Ontario Ministry of Tourism, Culture and Sport (MTCS) on behalf of the government and citizens of Ontario.

As this study was undertaken during winter conditions, a Stage 1 Property Inspection was not viable. Therefore, the Stage 2 Property Assessment will be undertaken in conditions by which are snow and frost free, and the soil is dry enough to be screened. Therefore, a Stage 1 Property Assessment has been completed for this development application.

### **STAGE 1 RECOMMENDATIONS:**

The study area has been identified as a property that exhibits potential to yield archaeological deposits of Cultural Heritage Value or Interest (CHVI). The objectives of the Stage 1 Background Study have therefore been met and in accordance with the results of this investigation, the following recommendations are made:

- 1. Further archaeological assessment of the study area is warranted;*

2. *The Provincial interest in archaeological resources with respect to the proposed undertaking remains to be addressed;*
3. *The proposed undertaking has a potential for archaeological resources and a Stage 2 Archaeological Assessment is recommended;*
4. *A test pit survey at 5 metre intervals between individual test pits is recommended in all areas that are not viable to be ploughed and are at a less than (<) 20 degree change in elevation;*
5. *The steepness of any slopes within the study area must be determined through a Property Inspection since slopes at an angle of greater than (>) 20 degrees have low archaeological potential and may be excluded from Stage 2 Property Assessment;*
6. *The footprints of existing or former structures within the study area can only be identified and be excluded from Stage 2 Property Assessment if confirmed by a licensed archaeologist through a Property Inspection and employing the required standards to document such areas;*
7. *Areas of disturbance can only be identified and be excluded from Stage 2 Property Assessment if confirmed by a licensed archaeologist through a Property Inspection and employing the required standards to document such areas;*
8. *Low-lying and wet areas can only be identified and be excluded from Stage 2 Property Assessment if confirmed by a licensed archaeologist through a Property Inspection and employing the required standards to document such areas;*
9. *No soil disturbances or removal of vegetation shall take place within the study area prior to the acceptance of a report recommending that all archaeological concerns for the study area have been addressed and that no further archaeological studies are warranted into the Provincial Registry of Archaeological reports maintained by MHSTCI;*

### **3.0 TABLE OF CONTENTS**

<b>1.0 PROJECT REPORT COVER PAGE.....</b>	<b>1</b>
<b>2.0 EXECUTIVE SUMMARY .....</b>	<b>2</b>
<b>3.0 TABLE OF CONTENTS .....</b>	<b>4</b>
<b>4.0 PROJECT PERSONNEL.....</b>	<b>4</b>
<b>5.0 PROJECT CONTEXT .....</b>	<b>4</b>
<b>6.0 PROPERTY INSPECTION .....</b>	<b>19</b>
<b>7.0 ANALYSIS AND CONCLUSIONS.....</b>	<b>20</b>
<b>8.0 RECOMMENDATIONS .....</b>	<b>29</b>
<b>9.0 ADVICE ON COMPLIANCE WITH LEGISLATION .....</b>	<b>31</b>
<b>10.0 BIBLIOGRAPHY AND SOURCES .....</b>	<b>32</b>
<b>11.0 MAPS.....</b>	<b>34</b>

### **4.0 PROJECT PERSONNEL**

#### **AMICK CONSULTANTS LIMITED PARTNERS**

Michael Henry (MHSTCI Professional Archaeologist Licence #P058)

Marilyn Cornies (MHSTCI Professional Archaeologist Licence #P038)

#### **PROJECT COORDINATOR**

Marilyn Cornies (MHSTCI Professional Archaeologist Licence #P038)

#### **PROJECT LICENSEE ARCHAEOLOGIST**

Michael Henry (MHSTCI Professional Archaeologist Licence #P058)

#### **PROJECT REPORT PREPARATION**

Jessica Watson

#### **PROJECT GRAPHICS**

Jessica Watson

### **5.0 PROJECT CONTEXT**

#### **5.1 DEVELOPMENT CONTEXT**

This report describes the results of the 2018 Stage 1 Archaeological Assessment of Project 2022-662: Stage 1 Archaeological Background Study for 221 Fox Street, Penetanguishene, Part of Lot 116, Concession 1 (Geographic Township of Tiny), Town of Penetanguishene, County of Simcoe, conducted by AMICK Consultants Limited. This study was conducted under Professional Archaeologist License #P058 issued to Michael Henry by the Minister of Tourism, Culture and Sport for the Province of Ontario. This assessment was undertaken as a requirement under the Planning Act (RSO 1990) and the Provincial Policy Statement (2020) in order to support a Development Application as part of the pre-submission process.

---

Within the land use planning and development context, Ontario Regulation 544/06 under the Planning Act (1990b) requires an evaluation of archaeological potential and, where applicable, an archaeological assessment report completed by an archaeologist licensed by the Ministry of Heritage, Sport, Tourism and Culture Industries (MHSTCI). Policy 2.6 of the Provincial Policy Statement (PPS 2020) addresses archaeological resources. All work was conducted in conformity with Ontario Ministry of Tourism and Culture (MTC) Standards and Guidelines for Consultant Archaeologists (MTC 2011), the Ontario Heritage Act (RSO 1990a).

AMICK Consultants Limited was engaged by the proponent to undertake a Stage 1 Archaeological Background Study of lands potentially affected by the proposed undertaking and was granted permission to carry out archaeological fieldwork. The entirety of the study area was subject to a desktop assessment on 1 February 2022. All records and documentation related to the conduct and findings of these investigations are held at the Lakelands District corporate offices of AMICK Consultants Limited until such time that they can be transferred to an agency or institution approved by the Ontario Ministry of Tourism, Culture and Sport (MTCS) on behalf of the government and citizens of Ontario.

The proposed development of the study area includes the development of condominium townhouses. A Development Application of the proposed development has been submitted together with this report to MTCS for review and reproduced within this report as Map 3.

## **5.2 HISTORICAL CONTEXT**

### **5.2.1 PRE-CONTACT LAND-USE OUTLINE**

What follows is an outline of Aboriginal occupation in the area during the Pre-Contact Era from the earliest known period, about 9000 B.C. up to approximately 1650 AD.

#### **5.2.1.1 PALEO-INDIAN PERIOD (APPROXIMATELY 9000-7500 B.C.)**

North of Lake Ontario, evidence suggests that early occupation began around 9000 B.C. People probably began to move into this area as the glaciers retreated and glacial lake levels began to recede. The early occupation of the area probably occurred in conjunction with environmental conditions that would be comparable to modern Sub-Arctic conditions. Due to the great antiquity of these sites, and the relatively small populations likely involved, evidence of these early inhabitants is sparse and generally limited to tools produced from stone or to by-products of the manufacture of these implements.

#### **5.2.1.2 ARCHAIC PERIOD (APPROXIMATELY 8000-1000 B.C.)**

By about 8000 B.C. the gradual transition from a post glacial tundra-like environment to an essentially modern environment was largely complete. Prior to European clearance of the landscape for timber and cultivation, the area was characterized by forest. The Archaic Period is the longest and the most apparently stable of the cultural periods identified through

archaeology. The Archaic Period is divided into the Early, Middle and Late Sub-Periods, each represented by specific styles in projectile point manufacture. Many more sites of this period are found throughout Ontario, than of the Palaeo-Indian Period. This is probably a reflection of two factors: the longer period of time reflected in these sites, and a greater population density. The greater population was likely the result of a more diversified subsistence strategy carried out in an environment offering a greater variety of abundant resources (Smith 2002:58-59).

Current interpretations suggest that the Archaic Period populations followed a seasonal cycle of resource exploitation. Although similar in concept to the practices speculated for the big game hunters of the Palaeo-Indian Period, the Archaic populations utilized a much broader range of resources, particularly with respect to plants. It is suggested that in the spring and early summer, bands would gather at the mouths of rivers and at rapids to take advantage of fish spawning runs. Later in the summer and into the fall season, smaller groups would move to areas of wetlands to harvest nuts and wild rice. During the winter, they would break into yet smaller groups probably based on the nuclear family and perhaps some additional relatives to move into the interior for hunting. The result of such practices would be to create a distribution of sites across much of the landscape (Smith 2002: 59-60).

The material culture of this period is much more extensive than that of the Palaeo-Indians. Stylistic changes between Sub-Periods and cultural groups are apparent, although the overall quality in production of chipped lithic tools seems to decline. This period sees the introduction of ground stone technology in the form of celts (axes and adzes), manos and metates for grinding nuts and fibres, and decorative items like gorgets, pendants, birdstones, and bannerstones. Bone tools are also evident from this time period. Their presence may be a result of better preservation from these more recent sites rather than a lack of such items in earlier occupations. In addition, copper and exotic chert types appear during the period and are indicative of extensive trading (Smith 2002: 58-59).

### **5.2.1.3 WOODLAND PERIOD (APPROXIMATELY 1000 B.C.-1650 A.D.)**

The primary difference in archaeological assemblages that differentiates the beginning of the Woodland Period from the Archaic Period is the introduction of ceramics to Ontario populations. This division is probably not a reflection of any substantive cultural changes, as the earliest sites of this period seem to be in all other respects a continuation of the Archaic mode of life with ceramics added as a novel technology. The seasonally based system of resource exploitation and associated population mobility persists for at least 1500 years into the Woodland Period (Smith 2002: 61-62).

The Early Woodland Sub-Period dates from about 1000-400 B.C. Many of the artifacts from this time are similar to the late Archaic and suggest a direct cultural continuity between these two temporal divisions. The introduction of pottery represents an entirely new technology that was probably acquired through contact with more southerly populations from which it likely originates (Smith 2002:62).

The Middle Woodland Sub-Period dates from about 400 B.C.-800 A.D. Within the region including the study area, a complex emerged at this time termed “Point Peninsula”. Point Peninsula pottery reflects a greater sophistication in pottery manufacture compared with the earlier industry. The paste and temper of the new pottery is finer and new decorative techniques such as dentate and pseudo-scallop stamping appear. There is a noted Hopewellian influence in southern Ontario populations at this time. Hopewell influences from south of the Great Lakes include a widespread trade in exotic materials and the presence of distinct Hopewell style artifacts such as platform pipes, copper or silver panpipe covers and shark’s teeth. The populations of the Middle Woodland participated in a trade network that extended well beyond the Great Lakes Region.

The Late Woodland Sub-Period dates from about 500-1650 A.D. The Late Woodland includes four separate phases: Princess Point, Early Ontario Iroquoian, Middle Ontario Iroquoian and Late Ontario Iroquoian.

The Princess Point phase dates to approximately 500-1000 A.D. Pottery of this phase is distinguished from earlier technology in that it is produced by the paddle method instead of coil and the decoration is characterized by the cord wrapped stick technique. Ceramic smoking pipes appear at this time in noticeable quantities. Princess Point sites cluster along major stream valleys and wetland areas. Maize cultivation is introduced by these people to Ontario. These people were not fully committed to horticulture and seemed to be experimenting with maize production. They generally adhere to the seasonal pattern of occupation practiced by earlier occupations, perhaps staying at certain locales repeatedly and for a larger portion of each year (Smith 2002: 65-66).

The Early Ontario Iroquoian stage dates to approximately 950-1050 A.D. This stage marks the beginning of a cultural development that led to the historically documented Ontario Iroquoian groups that were first contacted by Europeans during the early 1600s (Petun, Neutral, and Huron). At this stage formal semi-sedentary villages emerge. The Early stage of this cultural development is divided into two cultural groups in southern Ontario. The areas occupied by each being roughly divided by the Niagara Escarpment. To the west were located the Glen Meyer populations, and to the east were situated the Pickering people (Smith 2002: 67).

The Middle Ontario Iroquoian stage dates to approximately 1300-1400 A.D. This stage is divided into two sub-stages. The first is the Uren sub-stage lasting from approximately 1300-1350 A.D. The second of the two sub-stages is known as the Middleport sub-stage lasting from roughly 1350-1400 A.D. Villages tend to be larger throughout this stage than formerly (Smith 2002: 67).

The Late Ontario Iroquoian stage dates to approximately 1400-1650 A.D. During this time the cultural divisions identified by early European explorers are under development and the geographic distribution of these groups within southern Ontario begins to be defined.

## **5.2.2 GENERAL HISTORICAL OUTLINE**

In the seventeenth century Simcoe County was home to the Huron. With the arrival of French priests and Jesuits, missions were established near Georgian Bay. After the destruction of the missions by the Iroquois and the British, Algonquin speaking peoples occupied the area. After the war of 1812, the government began to invest in the military defences of Upper Canada, through the extension of Simcoe's Yonge St from Lake Simcoe to Penetanguishene on Georgian Bay (Garbutt, 2010).

The first arrival of Europeans within Tay Township was in 1615, the Jesuits named and established this area as the first Christian mission in Canada. The area was called Huronia and consisted of land from the present day Tiny Township through Flos, Tay, Medonte and to Orillia. After the Iroquois destroyed the Huron, the surviving First Nations and priest found safety on Christian Island. In 1778 George Cowan established Cowan's Trading post, located on the east side of Matchedash Bay. This area was developed and settled because Lieutenant-Governor John Graves Simcoe wanted to establish a safer transportation route for military supplies between the Great Lakes. It was finally decided that Penetanguishene would be the naval headquarters. ("History of Tay," )

Figure 2 illustrates the location of the study area and environs as of 1881. The study area is not shown to belong to anyone and no structures are shown to be within the study area. The study area is shown to be within the population density of the town of Penetanguishene and the study area is within 300m of 3 historic roadways.

It must be borne in mind that inclusion of names of property owners and depictions of structures and other features within properties on these maps were sold by subscription. Property owners paid to include information or details about their properties. While information included within these maps may provide information about the occupation of a property at a specific moment in time when the information was collected, the absence of such information does not necessarily indicate that the property was not occupied.

## **5.2.3 CURRENT CONDITIONS**

The present use of the study area is as a vacant lot. The study area is roughly 12 hectares in area. The study area includes within it wooded areas, surrounded by residential buildings. The study area lies in close proximity to Penetang Harbour, and the historic roadways now known as Fox Street, Broad Street, and Church Street. A previously unnamed historic roadway lies south of the study area, and is now known as Hunter Road and Cambridge Street. A plan of the study area is included within this report as Map 3. Current conditions encountered during the Stage 1 Property Assessment are illustrated in Maps 4 & 5.



## **5.2.4 SUMMARY OF HISTORICAL CONTEXT**

The brief overview of documentary evidence readily available indicates that the study area is situated within an area that was close to the historic transportation routes and in an area well populated during the nineteenth century and as such has potential for sites relating to early Euro-Canadian settlement in the region.

## **5.3 ARCHAEOLOGICAL CONTEXT**

The Archaeological Sites Database administered by the Ministry of Tourism, Culture and Sport (MHSTCI) indicates that there are no (0) previously documented sites within 1 kilometre of the study area. However, it must be noted that this is based on the assumption of the accuracy of information compiled from numerous researchers using different methodologies over many years. AMICK Consultants Limited assumes no responsibility for the accuracy of site descriptions, interpretations such as cultural affiliation, or location information derived from the Archaeological Sites Database administered by MHSTCI. In addition, it must also be noted that a lack of formerly documented sites does not indicate that there are no sites present as the documentation of any archaeological site is contingent upon prior research having been conducted within the study area.

On the basis of information supplied by MHSTCI, no archaeological assessments have been conducted within 50 metres of the study area. In addition, it must also be noted that the lack of formerly documented previous assessments does not indicate that no assessments have been conducted.

Data contained in previous archaeological reports in close proximity to the study area that is relevant to Stage 1 Background Study is defined within the Standards and Guidelines for Consultant Archaeologists in Section 7.5.8 Standard 4 as follows:

*“Provide descriptions of previous archaeological fieldwork carried out within the limits of, or immediately adjacent to the project area, as documented by all available reports that include archaeological fieldwork carried out on the lands to be impacted by this project, or where reports document archaeological sites immediately adjacent (i.e., within 50 m) to those lands.”*

(MTC 2011: 126 Emphasis Added)

In accordance with data supplied by MHSTCI for the purposes of completing this study, there are no previous reports detailing, “*archaeological fieldwork carried out on the lands to be impacted by this project*”, nor do any previous reports document known archaeological sites within 50 metres of the study area.

The Standards and Guidelines for Consultant Archaeologists stipulates that the necessity to summarize the results of previous archaeological assessment reports, or to cite MHSTCI File Numbers in references to other archaeological reports, is reserved for reports that are directly relevant to the fieldwork and recommendations for the study area (S & Gs 7.5.7, Standard 2,

MTC 2011: 125). This is further refined and elaborated upon in Section 7.5.8, Standards 4 & 5, MTC 2011:

***“4. Provide descriptions of previous archaeological fieldwork carried out within the limits of, or immediately adjacent to the project area, as documented by all available reports that include archaeological fieldwork carried out on the lands to be impacted by this project, or where reports document archaeological sites immediately adjacent (i.e., within 50m) to those lands.”***

***“5. If previous findings and recommendations are relevant to the current stage of work, provide the following:***

- a. *a brief summary of previous findings and recommendations*
- b. *documentation of any differences in the current work from the previously recommended work*
- c. *rationale for the differences from the previously recommended work”*

***(Emphasis Added)***

The **available** relevant reports within 50 metres of the current study area are summarized below in section 5.3.3

The study area is situated within an area subject to an archaeological master plan or a similar regional overview study. The *County of Simcoe Archaeological Master Plan* was endorsed by County Council on 4 December 2019. The study involved the delineation of areas of archaeological potential within the County of Simcoe. A facsimile segment of the archaeological potential map produced as a part of that study has been reproduced within this report as Map 6 and illustrates the Study Area on this plan. This map indicates that the study area is in a zone of archaeological potential based on a composite screening criteria for First Nations, Métis, and Historical sites. However, Archaeological Management Plans and the conclusions therein are guidelines for municipal planners and are not a substitute for Stage 1 Background Assessment conducted by Licensed archaeologists. Table 1 describes the modelling criteria by which the Simcoe County regional archaeological potential was calculated.

**Table 1 : Summary of Archaeological Site Potential Modelling Criteria**

<b>Environmental or Cultural Feature</b>	<b>Buffer Distance (metres)</b>	<b>Buffer Qualifier</b>
<i>Pre-contact Indigenous Site Potential</i>		
rivers and streams	250	from top of bank for former; from centreline for latter; on well- or imperfectly drained soils only
lakes and ponds	250	on well or imperfectly drained soils only
Wetlands (including pre-settlement)	250	on well or imperfectly drained soils only
alluvial soils (former river courses)	250	on well or imperfectly drained soils only
registered archaeological sites	100	200 m for villages; if not completely excavated
slope > 20 degrees	0	removed from potential zone
<i>Historical Site Potential</i>		
historical settlement centres	polygon as mapped	no buffer, override integrity
domestic sites	100	None
breweries and distilleries	100	None
hotels/taverns	100	None
historical schools and churches	100	None
historic mills, forges, extraction industries	100	None
early settlement roads	100	both sides
early railways	50	both sides
cemeteries	100 for cemetery leads	10m around cemetery polygons
registered archaeological sites	100	if not completely excavated

It must be further noted that there is one (1) relevant plaque associated with the study area, which would suggest an activity or occupation within, or in close proximity to, the study area that may indicate potential for associated archaeological resources of significant CHVI. The nearby plaque of the “Capture of the Tigress and Scorpion” associated with the study area does indicate that a significant event did occur in the immediate vicinity and this does have implications for archaeological potential as there may be physical evidence related to this historic event/person/structure within the study area. “Capture of the Tigress and Scorpion” marks the approximate site of the sinking of two United States warships in Penetang Harbor.

*“In September, 1814, seamen of the Royal Navy under Lieutenant Miller Worsley, after a memorable voyage in an open boat from Nottawasaga Bay to Mackinac, aided by soldiers of the Royal Newfoundland Regiment commanded by Lieutenants Armstrong, Bulger, and Radenhurst, captured the United States ships of war TIGRESS and SCORPION. In compliance with the Rush-Baget agreement these ships were sunk in Penetanguishene Bay.”*  
(Parcs Canada, 2022).

### **5.3.1 PRE-CONTACT REGISTERED SITES**

A summary of registered and/or known archaeological sites within a 1-kilometre radius of the study area was gathered from the Archaeological Sites Database, administered by MHSTCI. As a result it was determined that zero (0) archaeological sites relating directly to Pre-contact habitation/activity had been formally registered within the immediate vicinity of the study area. However, the lack of formally documented archaeological sites does not mean that Pre-contact people did not use the area; it more likely reflects a lack of systematic archaeological research in the immediate vicinity. Even in cases where one or more assessments may have been conducted in close proximity to a proposed landscape alteration, an extensive area of physical archaeological assessment coverage is required throughout the region to produce a representative sample of all potentially available archaeological data in order to provide any meaningful evidence to construct a pattern of land use and settlement in the past.

The study area lies approximately 130 meters east of Penetang Harbor, which is a source of potable water and a navigable water way. The distance to water criteria used to establish potential for archaeological sites suggests potential for Pre-contact occupation and land use in the area in the past. The presence of this Harbor prior to urban development in the vicinity of the study area indicates that there was potential for First Nations occupation and land use activities in the immediate vicinity in the past and therefore, there is potential for associated archaeological resources to be encountered within the study area. The Township of Tay Archaeological Potential Map has been reproduced in this report as Map 6.

Table 2 illustrates the chronological development of cultures within southern Ontario prior to the arrival of European cultures to the area at the beginning of the 17<sup>th</sup> century. This general cultural outline is based on archaeological data and represents a synthesis and summary of research over a long period of time. It is necessarily generalizing and is not necessarily representative of the point of view of all researchers or stakeholders. It is offered here as a rough guideline and as a very broad outline to illustrate the relationships of broad cultural groups and time periods.

**TABLE 2      PRE-CONTACT CULTURAL CHRONOLOGY FOR SOUTHERN ONTARIO**

<b>Years ago</b>	<b>Period</b>	<b>Southern Ontario</b>
250	Terminal Woodland	Ontario and St. Lawrence Iroquois Cultures
1000 2000	Initial Woodland	Princess Point, Saugeen, Point Peninsula, and Meadowood Cultures
3000 4000 5000 6000	Archaic	Laurentian Culture
7000 8000 9000 10000	Palaeo-Indian	Plano and Clovis Cultures

11000		
		(Wright 1972)

### 5.3.2 POST-CONTACT REGISTERED SITES

A summary of registered and/or known archaeological sites within a 1-kilometre radius of the study area was gathered from the Archaeological Sites Database, administered by MHSTCI. As a result it was determined that three (3) archaeological sites relating directly to Post-contact habitation/activity had been formally registered within the immediate vicinity of the study area. All previously registered Post-contact sites are briefly described below in Table 3:

**TABLE 3 POST-CONTACT SITES WITHIN 1KM**

Site Name	Borden #	Site Type	Cultural Affiliation
Penetang MHC V	BeGx-67		Post-Contact, Euro-Canadian
Tecumseh	BeGx-31	wreck	Post-Contact, Euro-Canadian
Newash	BeGx-30	wreck	Post-Contact, Euro-Canadian

None of the above noted archaeological sites are situated within 300 metres of the study area. Therefore, they have no impact on determinations of archaeological potential for further archaeological resources related to Post-contact activity and occupation with respect to the archaeological assessment of the proposed undertaking.

### 5.3.3 UNKNOWN CULTURAL AFFILIATION REGISTERED SITES

A summary of registered and/or known archaeological sites within a 1-kilometre radius of the study area was gathered from the Archaeological Sites Database, administered by MHSTCI. As a result it was determined that five (5) archaeological sites relating directly to unknown cultural affiliation habitation/activity had been formally registered within the immediate vicinity of the study area. All previously registered unknown cultural affiliation sites are briefly described below in Table 4:

**TABLE 4 UNKNOWN CULTURAL AFFILIATION SITES WITHIN 1KM**

Site Name	Borden #	Site Type	Cultural Affiliation
	BeGx-72		
	BeGx-71		
	BeGx-70		
	BeGx-69		
Penetang MHC VI	BeGx-68		

None of the above noted archaeological sites are situated within 300 metres of the study area. Therefore, they have no impact on determinations of archaeological potential for further

archaeological resources related to unknown cultural affiliation activity and occupation with respect to the archaeological assessment of the proposed undertaking.

### **5.3.3 PREVIOUS INVESTIGATIONS**

In September 2012, AMICK Consultants Limited conducted a Stage 1-2 Archaeological Assessment of 221 Fox Street on an approximate 12ha parcel situated within the current study area. Below is a summary of the conclusions and resulting recommendations:

*AMICK Consultants Limited was engaged by the proponent to undertake a Stage 1-2 Archaeological Assessment of lands potentially affected by the proposed undertaking and was granted permission to carry out archaeological work on 27 September 2012. The entirety of the study area was subject to reconnaissance, photographic documentation and physical assessment on 26 September 2012, consisting of high-intensity test pit survey at an interval of five metres between individual test pits. All records, documentation, field notes, photographs and artifacts (as applicable) related to the conduct and findings of these investigations are held at the Lakelands District corporate offices of AMICK Consultants Limited until such time that they can be transferred to an agency or institution approved by the Ontario Ministry of Tourism, Culture and Sport (MTCS) on behalf of the government and citizens of Ontario.*

*As a result of the physical assessment of the study area, no archaeological resources were encountered. Consequently, it is recommended no further archaeological assessment of the property is required.*

*(AMICK Consultants Limited, 2013)*

### **5.3.4 LOCATION AND CURRENT CONDITIONS**

The study area is described as 221 Fox Street, Penetanguishene, Part of Lot 116, Concession 1 (Geographic Township of Tiny), Town of Penetanguishene, County of Simcoe. The study area was subject to this assessment as a requirement under the Planning Act (RSO 1990) and the Provincial Policy Statement (2020) in order to support a Development Application and companion Zoning By-law Amendment application as part of the pre-submission process.

The present use of the study area is as a vacant lot. The study area is roughly 12 hectares in area. The study area includes within it wooded areas, surrounded by residential buildings. The study area lies in close proximity to Penetang Harbour, and the historic roadways now known as Fox Street, Broad Street, and Church Street. A previously unnamed historic roadway lies south of the study area, and is now known as Hunter Road and Cambridge Street. A plan of the study area is included within this report as Map 3. Current conditions encountered during the Stage 1 Property Assessment are illustrated in Maps 4 & 5.

### **5.3.5 PHYSIOGRAPHIC REGION**

The study area is situated within the Simcoe Uplands physiographic region. The Simcoe Uplands is described as a series of broad, rolling till plains separated by steep-sided, flat-floored valleys, indicating they were islands in Lake Algonquin. The till is composed of mainly Precambrian rock, the texture of which is a gritty loam that becomes sandier toward the north; more calcareous till occurs near Lake Simcoe and near Midland. Although the dominant soil in the uplands is a sandy loam, smaller areas near the sandy ridges of the Oro Moraine and the Hendrie forest feature extremely pervious soil areas, sometimes with dry depressions many feet in depth. The loose sandy texture of the surface soil is conducive to wind erosion when vegetation has been removed (Chapman and Putnam 1984: 182-183).

### **5.3.6 SURFACE WATER**

Sources of potable water, access to waterborne transportation routes, and resources associated with watersheds are each considered, both individually and collectively to be the highest criteria for determination of the potential of any location to support extended human activity, land use, or occupation. Accordingly, proximity to water is regarded as the primary indicator of archaeological resource potential. The Standards and Guidelines for Consultant Archaeologists stipulates that undisturbed lands within 300 metres of a water source are considered to have archaeological potential (MTC 2011: 21).

### **5.3.7 CURRENT PROPERTY CONDITIONS CONTEXT**

Current characteristics encountered within an archaeological research study area determine if property Assessment of specific portions of the study area will be necessary and in what manner a Stage 2 Property Assessment should be conducted, if necessary. Conventional assessment methodologies include pedestrian survey on ploughable lands and test pit methodology within areas that cannot be ploughed. For the purpose of determining where property Assessment is necessary and feasible, general categories of current landscape conditions have been established as archaeological conventions. These include:

#### **5.3.7.1 BUILDINGS AND STRUCTURAL FOOTPRINTS**

A building, for the purposes of this particular study, is a structure that exists currently or has existed in the past in a given location. The footprint of a building is the area of the building formed by the perimeter of the foundation. Although the interior area of building foundations would often be subject to property Assessment when the foundation may represent a potentially significant historic archaeological site, the footprints of existing structures are not typically assessed. Existing structures commonly encountered during archaeological assessments are often residential-associated buildings (houses, garages, sheds), and/or component buildings of farm complexes (barns, silos, greenhouses). In many cases, even though the disturbance to the land may be relatively shallow and archaeological resources may be situated below the disturbed layer (e.g. a concrete garage pad), there is no practical means of assessing the area beneath the disturbed layer. However, if there were evidence to suggest that there are likely archaeological resources situated beneath the disturbance, alternative methodologies may be recommended to study such areas.

---

The study area contains no buildings or structural footprints.

### **5.3.7.2 DISTURBANCE**

Areas that have been subjected to extensive and deep land alteration that has severely damaged the integrity of archaeological resources are known as land disturbances. Examples of land disturbances are areas of past quarrying, major landscaping, and sewage and infrastructure development (MTC 2011: 18), as well as driveways made of gravel or asphalt or concrete, in-ground pools, and wells or cisterns. Surfaces paved with interlocking brick, concrete, asphalt, gravel and other surfaces meant to support heavy loads or to be long wearing hard surfaces in high traffic areas, must be prepared by the excavation and removal of topsoil, grading, and the addition of aggregate material to ensure appropriate engineering values for the supporting matrix and also to ensure that the installations shed water to avoid flooding or moisture damage. All hard surfaced areas are prepared in this fashion and therefore have no or low archaeological potential. Major utility lines are conduits that provide services such as water, natural gas, hydro, communications, sewage, and others. These major installations should not be confused with minor below ground service installations not considered to represent significant disturbances removing archaeological potential, such as services leading to individual structures which tend to be comparatively very shallow and vary narrow corridors. Areas containing substantial and deeply buried services or clusters of below ground utilities are considered areas of disturbance, and may be excluded from Stage 2 Property Assessment. Disturbed areas are excluded from Stage 2 Property Assessment due to no or low archaeological potential and often because they are also not viable to assess using conventional methodology.

*“Earthwork is one of the major works involved in road construction. This process includes excavation, material removal, filling, compaction, and construction. Moisture content is controlled, and compaction is done according to standard design procedures. Normally, rock explosion at the road bed is not encouraged. While filling a depression to reach the road level, **the original bed is flattened after the removal of the topsoil.** The fill layer is distributed and compacted to the designed specifications. This procedure is repeated until the compaction desired is reached. **The fill material should not contain organic elements, and possess a low index of plasticity.** Fill material can include gravel and decomposed rocks of a particular size, but should not consist of huge clay lumps. Sand clay can be used. The area is considered to be adequately compacted when the roller movement does not create a noticeable deformation. **The road surface finish is reliant on the economic aspects, and the estimated usage.**” [Emphasis Added]*

(Goel 2013)

The supporting matrix of a hard paved surface cannot contain organic material which is subject to significant compression, decay and moisture retention. Topsoil has no engineering value and must be removed in any construction application where the surface finish at grade requires underlying support.



Installation of sewer lines and other below ground services associated with infrastructure development often involves deep excavation that can remove archaeological potential. This consideration does not apply to relatively minor below ground services that connect structures and facilities to services that support their operation and use. Major servicing corridors will be situated within adjacent road allowances with only minor, narrow and relatively shallow underground services entering into the study area to connect existing structures to servicing mainlines. The relatively minor, narrow and shallow services buried within a residential property do not require such extensive ground disturbance to remove or minimize archaeological potential within affected areas.

As a Property Inspection has not been undertaken as a component of this study, the presence of any disturbances must be confirmed through a Property Inspection undertaken by a licensed archaeologist before areas of deep prior disturbance where archaeological potential has been removed and/or where current conditions prohibit conventional assessment, can be deemed excluded from Stage 2 Property Assessment.

#### **5.3.7.3 LOW-LYING AND WET AREAS**

Landscape features that are covered by permanently wet areas, such as marshes, swamps, or bodies of water like streams or lakes, are known as low-lying and wet areas. Low-lying and wet areas are excluded from Stage 2 Property Assessment due to inaccessibility.

The previous assessment within the subject lands found low-lying and wet areas in the eastern quadrants. As a Property Inspection has not been undertaken as a component of this study, the presence of any low-lying wet areas must be confirmed in the current study area through a Property Inspection undertaken by a licensed archaeologist before any low-lying wet areas can be deemed of low archaeological potential and/or not viable to assess and therefore, excluded from Stage 2 Property Assessment.

#### **5.3.7.4 STEEP SLOPE**

Landscape which slopes at a greater than (>) 20 degree change in elevation, is known as steep slope. Areas of steep slope are considered uninhabitable, and are excluded from Stage 2 Property Assessment.

Generally, steep slopes are not assessed because steep slopes are interpreted to have low potential, not due to viability to assess, except in cases where the slope is severe enough to become a safety concern for archaeological field crews. In such cases, the Occupational Health and Safety Act takes precedence as indicated in the introduction to the Standards and Guidelines. AMICK Consultant Limited policy is to assess all slope areas whenever it is safe to do so. Assessment of slopes, except where safety concerns arise, eliminates the invariably subjective interpretation of what might constitute a steep slope in the field. This is done to minimize delays due to conflicts in such interpretations and to increase the efficiency of review.

The previous assessment within the subject lands found areas of steep slope in the eastern quadrants. As a Property Inspection has not been undertaken as a component of this study, the presence of any potential steep slopes in the current study area must be confirmed through a Property Inspection undertaken by a licensed archaeologist before any slope areas can be deemed too steep to assess or too steep to have archaeological potential and therefore be excluded from Stage 2 Property Assessment.

#### **5.3.7.5 WOODED AREAS**

Areas of the property that cannot be ploughed, such as natural forest or woodlot, are known as wooded areas. These wooded areas qualify for Stage 2 Property Assessment, and are required to be assessed using test pit survey methodology.

The study area is entirely woodlot. Maps 4 & 5 of this report illustrate the locations of these features.

#### **5.3.7.6 PLOUGHABLE AGRICULTURAL LANDS**

Areas of current or former agricultural lands that have been ploughed in the past are considered ploughable agricultural lands. Ploughing these lands regularly turns the soil, which in turn brings previously buried artifacts to the surface, which are then easily identified during visual inspection. Furthermore, by allowing the ploughed area to weather sufficiently through rainfall, soil is washed off of exposed artifacts at the surface and the visibility of artifacts at the surface of recently worked field areas is enhanced markedly. Pedestrian survey of ploughed agricultural lands is the preferred method of physical assessment because of the greater potential for finding evidence of archaeological resources if present.

The study area does not contain any ploughable lands.

#### **5.3.7.7 LAWN, PASTURE, MEADOW**

Landscape features consisting of former agricultural land covered in low growth, such as lawns, pastures, meadows, shrubbery, and immature trees. These are areas that may be considered too small to warrant ploughing, (i.e. less than one hectare in area), such as yard areas surrounding existing structures, and land-locked open areas that are technically workable by a plough but inaccessible to agricultural machinery. These areas may also include open area within urban contexts that do not allow agricultural tillage within municipal or city limits or the use of urban roadways by agricultural machinery. These areas are required to be assessed using test pit survey methodology.

The study area does not contain any areas of lawn, pasture or meadow.

### **5.3.8 SUMMARY**

Background research indicates the vicinity of the study area has potential for archaeological resources of Native origins based on proximity to a source of potable water that was also used as a means of waterborne trade and communication. Background research also suggests potential for archaeological resources of Post-contact origins based on proximity to historic roadways.

Archaeological potential does not indicate that there are necessarily sites present, but that environmental and historical factors suggest that there may be as yet undocumented archaeological sites within lands that have not been subject to systematic archaeological research in the past.

## **6.0 PROPERTY INSPECTION**

A property inspection or field reconnaissance is not required as part of a Stage 1 Background Study unless there is reason to believe that portions of the study area may be excluded from physical assessment on the basis of the conditions of the property or portions thereof and it is desired by the proponent to formally exclude any such areas from a Stage 2 Property Assessment. As this study was undertaken during winter conditions, a Stage 1 Property Inspection was not viable. Therefore, no part of the study area may be excluded from the Stage 2 Property Assessment. The Stage 1 Property Inspection will have to be undertaken concurrently with the Stage 2 Property Assessment.

## **7.0 ANALYSIS AND CONCLUSIONS**

AMICK Consultants Limited was engaged by the proponent to undertake a Stage 1 Archaeological Assessment of lands potentially affected by the proposed undertaking and was granted permission to carry out archaeological fieldwork. The field reconnaissance component of a Stage 1 is optional. Accordingly, a Winter Work Strategy was employed to limit the archaeological investigation to a desktop study only and to defer any necessary fieldwork until the spring. The study area was subject to a desktop assessment on February 3, 2022. All records, documentation, field notes, photographs and artifacts (as applicable) related to the conduct and findings of these investigations are held at the Lakelands District corporate offices of AMICK Consultants Limited until such time that they can be transferred to an agency or institution approved by the Ontario Ministry of Tourism, Culture and Sport (MHSTCI) on behalf of the government and citizens of Ontario.

### **7.1 STAGE 1 ANALYSIS AND CONCLUSIONS**

As part of the present study, background research was conducted in order to determine the archaeological potential of the proposed project area.

*“A Stage 1 background study provides the consulting archaeologist and Ministry report reviewer with information about the known and potential cultural heritage resources within a particular study area, prior to the start of the field assessment.”* (OMCzCR 1993)

The evaluation of potential is further elaborated Section 1.3 of the Standards and Guidelines for Consultant Archaeologist (2011) prepared by the Ontario Ministry of Tourism and Culture:

*“ The Stage 1 background study (and, where undertaken, property inspection) leads to an evaluation of the property’s archaeological potential. If the evaluation indicates that there is archaeological potential anywhere on the property, the next step is a Stage 2 assessment.”* (MTC 2011: 17)

Features or characteristics that indicate archaeological potential when documented within the study area, or within close proximity to the study area (as applicable), include:

- “ - previously identified archaeological sites*
  - water sources (It is important to distinguish types of water and shoreline, and to distinguish natural from artificial water sources, as these features affect site locations and types to varying degrees.):*
    - primary water sources (lakes, rivers, streams, creeks)*
    - secondary water sources (intermittent streams and creeks, springs, marshes, swamps)*
    - features indicating past water sources (e.g., glacial lake shorelines indicated by the presence of raised sand or gravel beach ridges, relic river or stream channels indicated by clear dip or swale in the topography, shorelines of drained lakes or marshes, cobble beaches)*
    - accessible or inaccessible shoreline (e.g., high bluffs, swamp or marsh fields by the edge of a lake, sandbars stretching into marsh)*
  - elevated topography (e.g., eskers, drumlins, large knolls, plateaux)*
  - pockets of well-drained sandy soil, especially near areas of heavy soil or rocky ground*
  - distinctive land formations that might have been special or spiritual places, such as waterfalls, rock outcrops, caverns, mounds, and promontories and their bases. There may be physical indicators of their use, such as burials, structures, offerings, rock paintings or carvings.*
  - resource areas, including:*
    - food or medicinal plants (e.g., migratory routes, spawning areas, prairie)*
    - scarce raw materials (e.g., quartz, copper, ochre or outcrops of chert)*
    - early Post-contact industry (e.g., fur trade, logging, prospecting, mining)*
  - areas of early Post-contact settlement. These include places of early military or pioneer settlement (e.g., pioneer homesteads, isolated cabins, farmstead complexes), early wharf or dock complexes, pioneer churches and early cemeteries. There may be commemorative markers of their history, such as local, provincial, or federal monuments or heritage parks.*

- *Early historical transportation routes (e.g., trails, passes, roads, railways, portage routes)*
- *property listed on a municipal register or designated under the Ontario Heritage Act that is a federal, provincial or municipal historic landmark or site*
- *property that local histories or informants have identified with possible archaeological sites, historical events, activities, or occupations”*

(MTC 2011: 17-18)

The evaluation of potential does not indicate that sites are present within areas affected by proposed development. Evaluation of potential considers the possibility for as yet undocumented sites to be found in areas that have not been subject to systematic archaeological investigation in the past. Potential for archaeological resources is used to determine if property assessment of a study area or portions of a study area is required.

*“Archaeological resources not previously documented may also be present in the affected area. If the alternative areas being considered, or the preferred alternative selected, exhibit either high or medium potential for the discovery of archaeological remains an archaeological assessment will be required.”*

(MCC & MOE 1992: 6-7)

*“The Stage 1 background study (and, where undertaken, property inspection) leads to an evaluation of the property’s archaeological potential. If the evaluation indicates that there is archaeological potential anywhere on the property, the next step is a Stage 2 assessment.”*

(MTC 2011: 17)

In addition, archaeological sites data is also used to determine if any archaeological resources had been formerly documented within or in close proximity to the study area and if these same resources might be subject to impacts from the proposed undertaking. This data was also collected in order to establish the relative cultural heritage value or interest of any resources that might be encountered during the conduct of the present study. For example, the relative rarity of a site can be used to assign an elevated level of cultural heritage value or interest to a site that is atypical for the immediate vicinity. The requisite archaeological sites data of previously registered archaeological sites was collected from the Programs and Services Branch, Culture Programs Unit, MHSTCI and the corporate research library of AMICK Consultants Limited. The Stage 1 Background Research methodology also includes a review of the most detailed available topographic maps, historical settlement maps, archaeological management plans (where applicable) and commemorative plaques or monuments. When previous archaeological research documents lands to be impacted by the proposed undertaking or archaeological sites within 50 metres of the study area, the reports documenting this earlier work are reviewed for pertinent information. AMICK Consultants Limited will often modify this basic methodology based on professional judgment to include additional research (such as, local historical works or documents and knowledgeable informants).

Section 7.7.3 of the Standards and Guidelines for Consultant Archaeologists (MTC 2011: 132) outlines the requirements of the Analysis and Conclusions component of a Stage 1 Background Study.

- 1) *“Identify and describe areas of archaeological potential within the project area.*
- 2) *Identify and describe areas that have been subject to extensive and deep land alterations. Describe the nature of alterations (e.g., development or other activity) that have severely damaged the integrity of archaeological resources and have removed archaeological potential.”*

### **CHARACTERISTICS INDICATING ARCHAEOLOGICAL POTENTIAL**

Section 1.3.1 of the Standards and Guidelines for Consultant Archaeologists specifies the property characteristics that indicate archaeological potential (MTC 2011: 17-18). Factors that indicate archaeological potential are features of the local landscape and environment that may have attracted people to either occupy the land or to conduct activities within the study area. One or more of these characteristics found to apply to a study area would necessitate a Stage 2 Property Assessment to determine if archaeological resources are present. These characteristics are listed below together with considerations derived from the conduct of this study.

- 1) *Previously Identified Archaeological Sites*

Previously registered archaeological sites have not been documented within 1 kilometre of the study area.

- 2) *Water Sources*

Primary water sources are described as including lakes, rivers streams and creeks. Close proximity to primary water sources (250 metres) indicates that people had access to readily available sources of potable water and routes of waterborne trade and communication should the study area have been used or occupied in the past.

There are identified primary water sources within 250 metres of the study area. Approximately 130m west of the study area lies Penetang Harbor, a potable water source and navigable waterway.

Secondary water sources are described as including intermittent streams and creeks, springs, marshes, and swamps. Close proximity (300 metres) to secondary water sources indicates that people had access to readily available sources of potable water, at least on a seasonal basis, and in some cases seasonal access to routes of waterborne trade and communication should the study area have been used or occupied in the past.

There are no identified secondary water sources within 300 metres of the study area.

- 3) *Features Indicating Past Water Sources*

---

Features indicating past water resources are described as including glacial lake shorelines indicated by the presence of raised sand or gravel beach ridges, relic river or stream channels indicated by clear dip or swale in the topography, shorelines of drained lakes or marshes, and cobble beaches. Close proximity (300 metres) to features indicating past water sources indicates that people had access to readily available sources of potable water, at least on a seasonal basis, and in some cases seasonal access to routes of waterborne trade and communication should the study area have been used or occupied in the past.

There are no identified features indicating past water sources within 300 metres of the study area.

4) *Accessible or Inaccessible Shoreline*

This form of landscape feature would include high bluffs, swamp or marsh fields by the edge of a lake, sandbars stretching into marsh, etc.

The shoreline of Penetang Harbor is within 300 metres of the study area. Situated approximately 130 meters east of the study area, Penetang Harbor is a potable water source and navigable waterway.

5) *Elevated Topography*

Features of elevated topography that indicate archaeological potential include eskers, drumlins, large knolls, and plateaux.

There are no identified features of elevated topography within the study area.

6) *Pockets of Well-drained Sandy Soil*

Pockets of sandy soil are considered to be especially important near areas of heavy soil or rocky ground.

A Property Inspection has not been undertaken as a component of this study, therefore, the soil type has not been investigated and will need to be confirmed during a Stage 2 Property Inspection undertaken by a licensed archaeologist.

7) *Distinctive Land Formations*

These are landscape features that might have been special or spiritual places, such as waterfalls, rock outcrops, caverns, mounds, and promontories and their bases. There may be physical indicators of their use, such as burials, structures, offerings, rock paintings or carvings.

There are no identified distinctive land formations within the study area.

8) *Resource Areas*

Resource areas that indicate archaeological potential include food or medicinal plants (e.g., migratory routes, spawning areas, and prairie), scarce raw materials (e.g.,

quartz, copper, ochre or outcrops of chert) and resources of importance to early Post-contact industry (e.g., logging, prospecting, and mining).

There are no identified resource areas within the study area.

9) Areas of Early Post-contact Settlement

These include places of early military or pioneer settlement (e.g., pioneer homesteads, isolated cabins, and farmstead complexes), early wharf or dock complexes, pioneer churches and early cemeteries. There may be commemorative markers of their history, such as local, provincial, or federal monuments or heritage parks.

The study area is not situated in close proximity to a historic community, house, church, school, gristmill, or sawmill identified on the historic atlas map.

10) Early Historical Transportation Routes

This includes evidence of trails, passes, roads, railways, portage routes.

The study area is situated within the historic community of Penetanguishene.

The study area is situated within 100 metres of an early settlement roads that appears on the Historic Atlas Map of 1881. These historic roads correspond to the roads presently known as Fox Street, Broad Street, Church Street, Hunter Road, and Cambridge Street, which are adjacent to the study area. The property is situated within 300 metres of a body of water that was used for waterborne trade and communication.

The nearby plaque of the “Capture of the Tigress and Scorpion” marks the approximate site of the sinking of two United States warships in Penetang Harbor.

11) Heritage Property

Property listed on a municipal register or designated under the *Ontario Heritage Act* or is a federal, provincial or municipal historic landmark or site.

There are no listed or designated heritage buildings or properties that form a part of the study area. There are no listed or designated heritage buildings or properties that are adjacent to the study area.

12) Documented Historical or Archaeological Sites

This includes property that local histories or informants have identified with possible archaeological sites, historical events, activities, or occupations. These are properties which have not necessarily been formally recognized or for which there is additional evidence identifying possible archaeological resources associated with historic properties in addition to the rationale for formal recognition.



There are no known heritage features, or known historic sites, or known archaeological sites within the study area in addition to those formally documented with the appropriate agencies or previously noted under a different criterion.

## **CHARACTERISTICS INDICATING REMOVAL OF ARCHAEOLOGICAL POTENTIAL**

Section 1.3.2 of the Standards and Guidelines for Consultant Archaeologists specifies the property characteristics which indicate no archaeological potential or for which archaeological potential has been removed (MTC 2011: 18-19). These characteristics are listed below together with considerations derived from the conduct of this study.

The introduction of Section 1.3.2 (MTC 2011: 18) notes that “*Archaeological potential can be determined not to be present for either the entire property or a part(s) of it when the area under consideration has been subject to extensive and deep land alterations that have severely damaged the integrity of any archaeological resources. This is commonly referred to as ‘disturbed’ or ‘disturbance’, and may include:*”

1) *Quarrying*

There is no evidence to suggest that quarrying operations were ever carried out within the study area.

2) *Major Landscaping Involving Grading Below Topsoil*

Unless there is evidence to suggest the presence of buried archaeological deposits, such deeply disturbed areas are considered to have lost their archaeological potential. Properties that do not have a long history of Post-contact occupation can have archaeological potential removed through extensive landscape alterations that penetrate below the topsoil layer. This is because most archaeological sites originate at grade with relatively shallow associated excavations into the soil. Pre-contact sites and early historic sites are vulnerable to extensive damage and complete removal due to landscape modification activities. In urban contexts where a lengthy history of occupation has occurred, properties may have deeply buried archaeological deposits covered over and sealed through redevelopment activities that do not include the deep excavation of the entire property for subsequent uses. Buildings are often erected directly over older foundations preserving archaeological deposits associated with the earlier occupation.

There is no evidence to suggest that major landscaping operations involving grading below topsoil were ever carried out within the study area. Surfaces paved with interlocking brick, concrete, asphalt, gravel and other surfaces meant to support heavy loads or to be long wearing hard surfaces in high traffic areas, must be prepared by the excavation and removal of topsoil, grading, and the addition of aggregate material to ensure appropriate engineering values for the supporting matrix and also to ensure that the installations shed water to avoid flooding or moisture damage. All hard surfaced areas are prepared in this fashion and therefore have no or low archaeological potential. Disturbed areas are excluded from Stage 2 Property

Assessment due to no or low archaeological potential and often because they are also not viable to assess using conventional methodology.

3) *Building Footprints*

Typically, the construction of buildings involves the deep excavation of foundations, footings and cellars that often obliterate archaeological deposits situated close to the surface.

There are no buildings within the study area.

4) *Sewage and Infrastructure Development*

Installation of sewer lines and other below ground services associated with infrastructure development often involves deep excavation that can remove archaeological potential.

There is no evidence to suggest that substantial below ground services of any kind have resulted in significant impacts to any significant portion of the study area. Major utility lines are conduits that provide services such as water, natural gas, hydro, communications, sewage, and others. These major installations should not be confused with minor below ground service installations not considered to represent significant disturbances removing archaeological potential, such as services leading to individual structures which tend to be comparatively very shallow and vary narrow corridors. Areas containing substantial and deeply buried services or clusters of below ground utilities are considered areas of disturbance, and may be excluded from Stage 2 Property Assessment.

*“Activities such as agricultural cultivation, gardening, minor grading and landscaping do not necessarily affect archaeological potential.”*

(MTC 2011: 18)

*“Archaeological potential is not removed where there is documented potential for deeply buried intact archaeological resources beneath land alterations, or where it cannot be clearly demonstrated through background research and property inspection that there has been complete and intensive disturbance of an area. Where complete disturbance cannot be demonstrated in Stage 1, it will be necessary to undertake Stage 2 assessment.”*

(MTC 2011: 18)

## **SUMMARY**

Table 5 below summarizes the evaluation criteria of the Ministry of Tourism, Culture and Sport (MHSTCI) together with the results of the Stage 1 Background Study for the proposed undertaking. Based on the criteria, the property is deemed to have archaeological potential on the basis of proximity to water, and proximity to the location of early historic settlement roads adjacent to the study area.

**DRAFT 2022 Project 2022-662: Stage 1 Archaeological Background Study for 221 Fox Street,  
Penetanguishene, Part of Lot 116, Concession 1 (Geographic Township of Tiny), Town of Penetanguishene,  
County of Simcoe (AMICK File #2022-662/MTCS File #P058-2080-2022)**

**TABLE 5 EVALUATION OF ARCHAEOLOGICAL POTENTIAL**

FEATURE OF ARCHAEOLOGICAL POTENTIAL		YES	NO	N/A	COMMENT
1	Known archaeological sites within 300m		<b>N</b>		If Yes, potential determined
<b>PHYSICAL FEATURES</b>					
2	Is there water on or near the property?	<b>Y</b>			If Yes, what kind of water?
2a	Primary water source within 300 m. (lakeshore, river, large creek, etc.)	<b>Y</b>			If Yes, potential determined
2b	Secondary water source within 300 m. (stream, spring, marsh, swamp, etc.)		<b>N</b>		If Yes, potential determined
2c	Past water source within 300 m. (beach ridge, river bed, relic creek, etc.)		<b>N</b>		If Yes, potential determined
2d	Accessible or Inaccessible shoreline within 300 m. (high bluffs, marsh, swamp, sand bar, etc.)	<b>Y</b>			If Yes, potential determined
3	Elevated topography (knolls, drumlins, eskers, plateaus, etc.)		<b>N</b>		If Yes, and Yes for any of 4-9, potential determined
4	Pockets of sandy soil in a clay or rocky area		<b>N</b>		If Yes and Yes for any of 3, 5-9, potential determined
5	Distinctive land formations (mounds, caverns, waterfalls, peninsulas, etc.)		<b>N</b>		If Yes and Yes for any of 3-4, 6-9, potential determined
<b>HISTORIC/PREHISTORIC USE FEATURES</b>					
6	Associated with food or scarce resource harvest areas (traditional fishing locations, agricultural/berry extraction areas, etc.)		<b>N</b>		If Yes, and Yes for any of 3-5, 7-9, potential determined.
7	Early Post-contact settlement area within 300 m.		<b>N</b>		If Yes, and Yes for any of 3-6, 8-9, potential determined
8	Historic Transportation route within 100 m. (historic road, trail, portage, rail corridors, etc.)	<b>Y</b>			If Yes, and Yes for any 3-7 or 9, potential determined
9	Contains property designated and/or listed under the Ontario Heritage Act (municipal heritage committee, municipal register, etc.)		<b>N</b>		If Yes and, Yes to any of 3-8, potential determined
<b>APPLICATION-SPECIFIC INFORMATION</b>					
10	Local knowledge (local heritage organizations, Pre-contact, etc.)		<b>N</b>		If Yes, potential determined
11	Recent disturbance not including agricultural cultivation (post-1960-confirmed extensive and intensive including industrial sites, aggregate areas, etc.)		<b>N</b>		If Yes, no potential or low potential in affected part (s) of the study area.

If **YES** to any of 1, 2a-c, or 10 Archaeological Potential is **confirmed**

If **YES** to 2 or more of 3-9, Archaeological Potential is **confirmed**

If **YES** to 11 or No to 1-10 Low Archaeological Potential is **confirmed** for at least a portion of the study area.

## **8.0 RECOMMENDATIONS**

### **8.1 STAGE 1 RECOMMENDATIONS**

Under Section 7.7.4 of the Standards and Guidelines for Consultant Archaeologists (MTC 2011: 133) the recommendations to be made as a result of a Stage 1 Background Study are described.

- 1) *Make recommendations regarding the potential for the property, as follows:*
  - a. *if some or all of the property has archaeological potential, identify areas recommended for further assessment (Stage 2) and areas not recommended for further assessment. Any exemptions from further assessment must be consistent with the archaeological fieldwork standards and guidelines.*
  - b. *if no part of the property has archaeological potential, recommend that the property does not require further archaeological assessment.*
- 2) *Recommend appropriate Stage 2 assessment strategies.*

The study area has been identified as a property that exhibits potential to yield archaeological deposits of Cultural Heritage Value or Interest (CHVI). The objectives of the Stage 1 Background Study have therefore been met and in accordance with the results of this investigation, the following recommendations are made:

1. *Further archaeological assessment of the study area is warranted;*
  2. *The Provincial interest in archaeological resources with respect to the proposed undertaking remains to be addressed;*
  3. *The proposed undertaking has a potential for archaeological resources and a Stage 2 Archaeological Assessment is recommended;*
  4. *A pedestrian survey at an interval of 5 metres between individual transects is recommended for any areas where ploughing is viable that have been subject to agricultural tillage in the past;*
  5. *A test pit survey at 5 metre intervals between individual test pits is recommended in all areas that are not viable to be ploughed and are at a less than (<) 20 degree change in elevation;*
  6. *The steepness of any slopes within the study area must be determined through a Property Inspection since slopes at an angle of greater than (>) 20 degrees have low archaeological potential and may be excluded from Stage 2 Property Assessment;*
  7. *The footprints of existing or former structures within the study area can only be identified and be excluded from Stage 2 Property Assessment if confirmed by a licensed archaeologist through a Property Inspection and employing the required standards to document such areas;*
  8. *Areas of disturbance can only be identified and be excluded from Stage 2 Property Assessment if confirmed by a licensed archaeologist through a Property Inspection and employing the required standards to document such areas;*
-

***DRAFT 2022 Project 2022-662: Stage 1 Archaeological Background Study for 221 Fox Street,  
Penetanguishene, Part of Lot 116, Concession 1 (Geographic Township of Tiny), Town of Penetanguishene,  
County of Simcoe (AMICK File #2022-662/MTCS File #P058-2080-2022)***

9. *Low-lying and wet areas can only be identified and be excluded from Stage 2 Property Assessment if confirmed by a licensed archaeologist through a Property Inspection and employing the required standards to document such areas;*
10. *No soil disturbances or removal of vegetation shall take place within the study area prior to the acceptance of a report recommending that all archaeological concerns for the study area have been addressed and that no further archaeological studies are warranted into the Provincial Registry of Archaeological reports maintained by MHSTCI;*

## **9.0 ADVICE ON COMPLIANCE WITH LEGISLATION**

While not part of the archaeological record, this report must include the following standard advisory statements for the benefit of the proponent and the approval authority in the land use planning and development process:

- a. This report is submitted to the Minister of Tourism and Culture as a condition of licensing in accordance with Part VI of the Ontario Heritage Act, R.S.O. 1990, c. 0.18. The report is reviewed to ensure that it complies with the standards and guidelines issued by the Minister, and that the archaeological fieldwork and report recommendations ensure the conservation, protection and preservation of the cultural heritage of Ontario. When all matters relating to archaeological sites within the project area of a development proposal have been addressed to the satisfaction of the Ministry of Tourism and Culture, a letter will be issued by the ministry stating that there are no further concerns with regard to alterations to archaeological sites by the proposed development.*
- b. It is an offence under Sections 48 and 69 of the Ontario Heritage Act for any party other than a licensed archaeologist to make any alteration to a known archaeological site or to remove any artifact or other physical evidence of past human use or activity from the site, until such time as a licensed archaeologist has completed archaeological fieldwork on the site, submitted a report to the Minister stating that the site has no further cultural heritage value or interest, and the report has been filed in the Ontario Public Register of Archaeological Reports referred to in Section 65.1 of the Ontario Heritage Act.*
- c. Should previously undocumented archaeological resources be discovered, they may be a new archaeological site and therefore subject to Section 48 (1) of the Ontario Heritage Act. The proponent or person discovering the archaeological resources must cease alteration of the site immediately and engage a licensed archaeologist to carry out archaeological fieldwork, in compliance with sec. 48 (1) of the Ontario Heritage Act.*
- d. The Cemeteries Act, R.S.O. 1990, c. C.4 and the Funeral, Burial and Cremation Services Act, 2002, S.O. 2002, c.33 (when proclaimed in force) require that any person discovering human remains must notify the police or coroner and the Registrar of Cemeteries at the Ministry of Consumer Services.*
- e. Archaeological sites recommended for further archaeological fieldwork or protection remain subject to Section 48 (1) of the Ontario Heritage Act and may not be altered, or have artifacts removed from them, except by a person holding an archaeological licence.*

## **10.0 BIBLIOGRAPHY AND SOURCES**

AMICK Consultants Limited. (2013, January). *12963 Final Report*.

ASI. (2019a). *County of Simcoe Archaeological Management Plan*. ASI: Toronto. Retrieved from URL: <https://www.simcoe.ca/dpt/pln/AMP>.

(2019b). *Thematic History and Colonial Period Archaeological Potential in County of Simcoe Archaeological Management Plan*. ASI: Toronto. Retrieved from URL: <https://www.simcoe.ca/dpt/pln/AMP>.

*Capture of the tigress and scorpion national historic event*. Parcs Canada. (n.d.). Retrieved February 4, 2022, from [https://www.pc.gc.ca/apps/dfhd/page\\_nhs\\_eng.aspx?id=1683](https://www.pc.gc.ca/apps/dfhd/page_nhs_eng.aspx?id=1683)

Chapman, L.J. & D.F. Putnam. (1984). *The Physiography of Southern Ontario (Third Edition)*. Ontario Geological Survey, Special Report #2. Ontario Ministry of Natural Resources, Toronto.

Esri (2019). "Topographic" [basemap]. Scale Not Given. "World Topographic Map." February 16, 2021. <http://www.arcgis.com/home/item.html?id=30e5fe3149c34df1ba922e6f5bbf808f> (February 16, 2021).

Goel, Tarun (2013). Road Construction: History and Procedure. Bright Hub Engineering. Retrieved 24 May 2015 from URL: <http://www.brighthubengineering.com/structural-engineering/59665-road-construction-history-and-procedure/>

Google Earth (Version 7.3.3.7786) [Software]. (2016). Available from <http://www.google.com/earth/index.html>.

*Heritage locations*. Heritage Locations | Penetanguishene Heritage. (n.d.). Retrieved February 4, 2022, from <https://heritage.penetanguishene.ca/heritage-locations-map.php>

Hunter, A. F. (1901). *Notes on the sites of Huron villages in the township of Medonte (Simcoe County)*. Pub. Department of Education for Ontario. Warwick Bro's & Rutter [printer]: Toronto.

Ontario Heritage Act, RSO 1990a, Government of Ontario. (Queen's Printer, Toronto).

Ontario Heritage Amendment Act, SO 2005, Government of Ontario. (Queen's Printer, Toronto).

Ontario Ministry of Citizenship, Culture and Recreation (OMCzCR). (1993). *Archaeological Assessment Technical Guidelines, Stages 1-3 and Reporting Format*. (Queen's Printer for Ontario 1993)

Ontario Ministry of Culture (MCL). (2005). *Conserving a Future for Our Past: Archaeology, Land Use Planning & Development in Ontario (An Educational Primer and Comprehensive Guide for Non-Specialists)*. (Heritage & Libraries Branch, Heritage Operations Unit: Toronto).

***DRAFT 2022 Project 2022-662: Stage 1 Archaeological Background Study for 221 Fox Street, Penetanguishene, Part of Lot 116, Concession 1 (Geographic Township of Tiny), Town of Penetanguishene, County of Simcoe (AMICK File #2022-662/MTCS File #P058-2080-2022)***

Ontario Ministry of Culture and Communications (MCC) & Ministry of Environment (MOE). (1992). *Guideline for Preparing the Cultural Heritage Resource Component of Environmental Assessments*. (Cultural Programs Branch, Archaeology and Heritage Planning: Toronto).

Ontario Ministry of Tourism and Culture (MTC). (2011). *Standards and Guidelines for Consultant Archaeologist*. (Programs and Services Branch: Culture Programs Unit, Toronto).

Ontario Planning Act, RSO 1990b, Government of Ontario. (Queen's Printer, Toronto).

Provincial Policy Statement (2020). Government of Ontario. (Queen's Printer, Toronto).

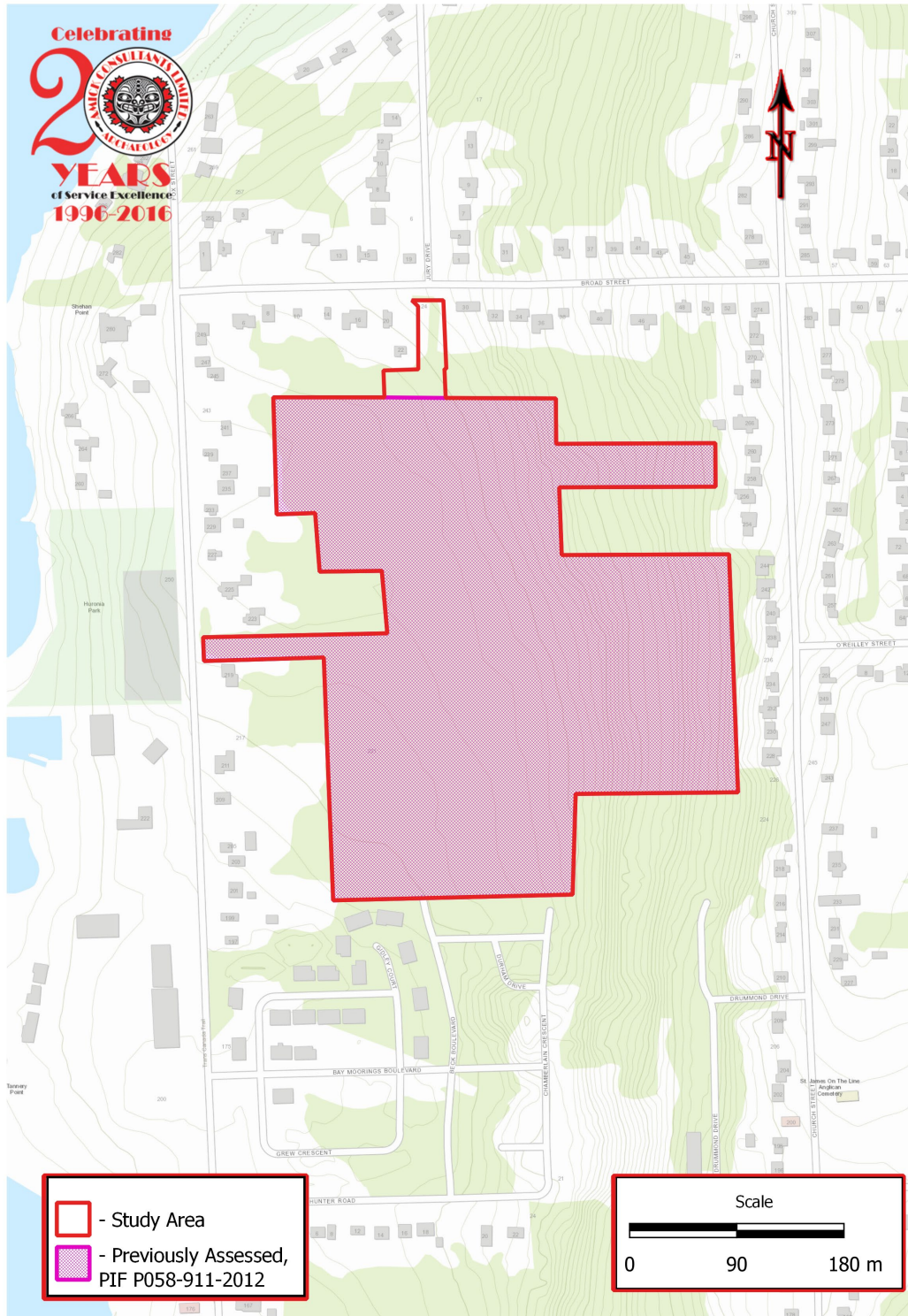
Superkul. (2021). *Development Application for 221 Fox Street, Penetanguishene, Part of Lot 116, Concession 1 (Geographic Township of Tiny), Town of Penetanguishene, County of Simcoe*. Superkul Architecture, Toronto.

Walker & Miles. (1881). *Illustrated Historical Atlas of the County of Simcoe, Ont.* Walker & Miles: Toronto.

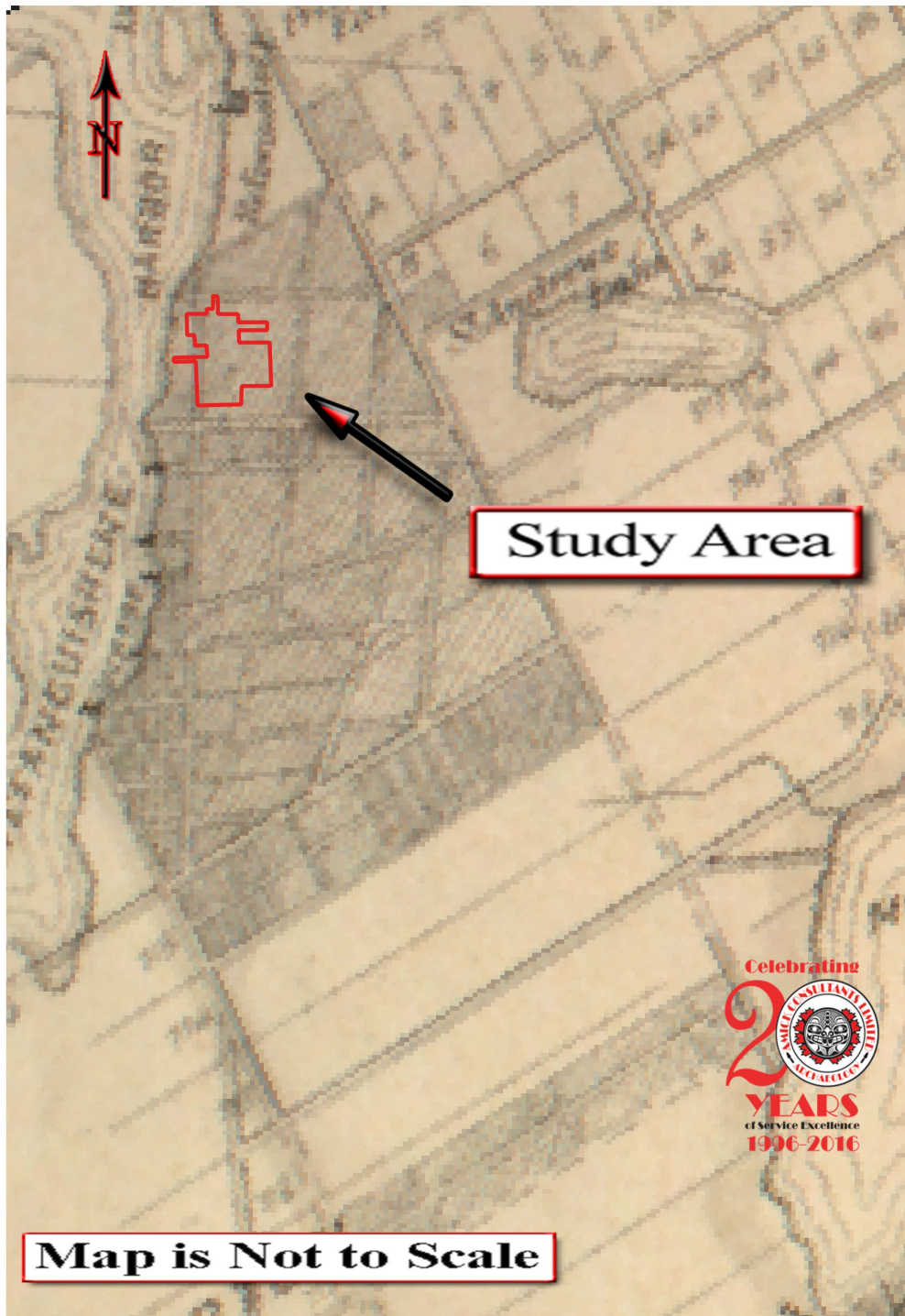
Wright, J.V. (1972). *Ontario Prehistory: an Eleven-thousand-year Archaeological Outline*. Archaeological Survey of Canada. National Museum of Man, Ottawa.



## 11.0 MAPS



**MAP 1 LOCATION OF THE STUDY AREA (ESRI 2019)**

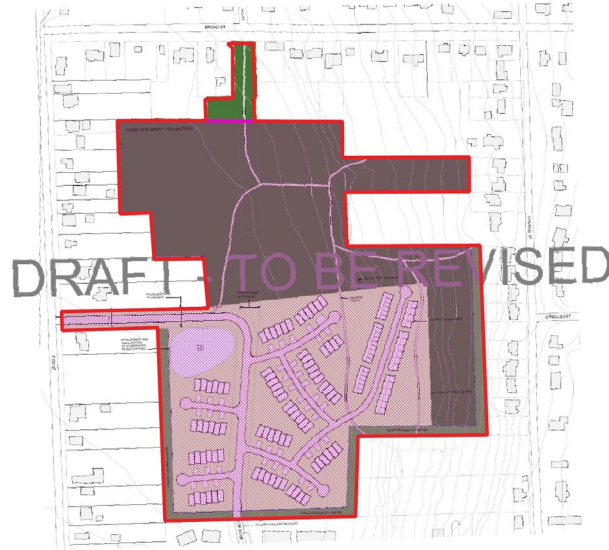


**MAP 2 FACSIMILE SEGMENT OF THE HISTORIC ATLAS MAP TOWNSHIP OF TAY  
(WALKER & MILES 1881)**

**DRAFT 2022 Project 2022-662: Stage 1 Archaeological Background Study for 221 Fox Street, Penetanguishene, Part of Lot 116, Concession 1 (Geographic Township of Tiny), Town of Penetanguishene, County of Simcoe (AMICK File #2022-662/MTCS File #P058-2080-2022)**

**Site Plan**

PROJECT STATISTICS  
 TOTAL TOWNHOUSES: 121  
 NORTH AREA: 61464 SQM  
 SOUTH AREA: 61464 SQM



- Study Area
- Previously Assessed, PIF P058-911-2012

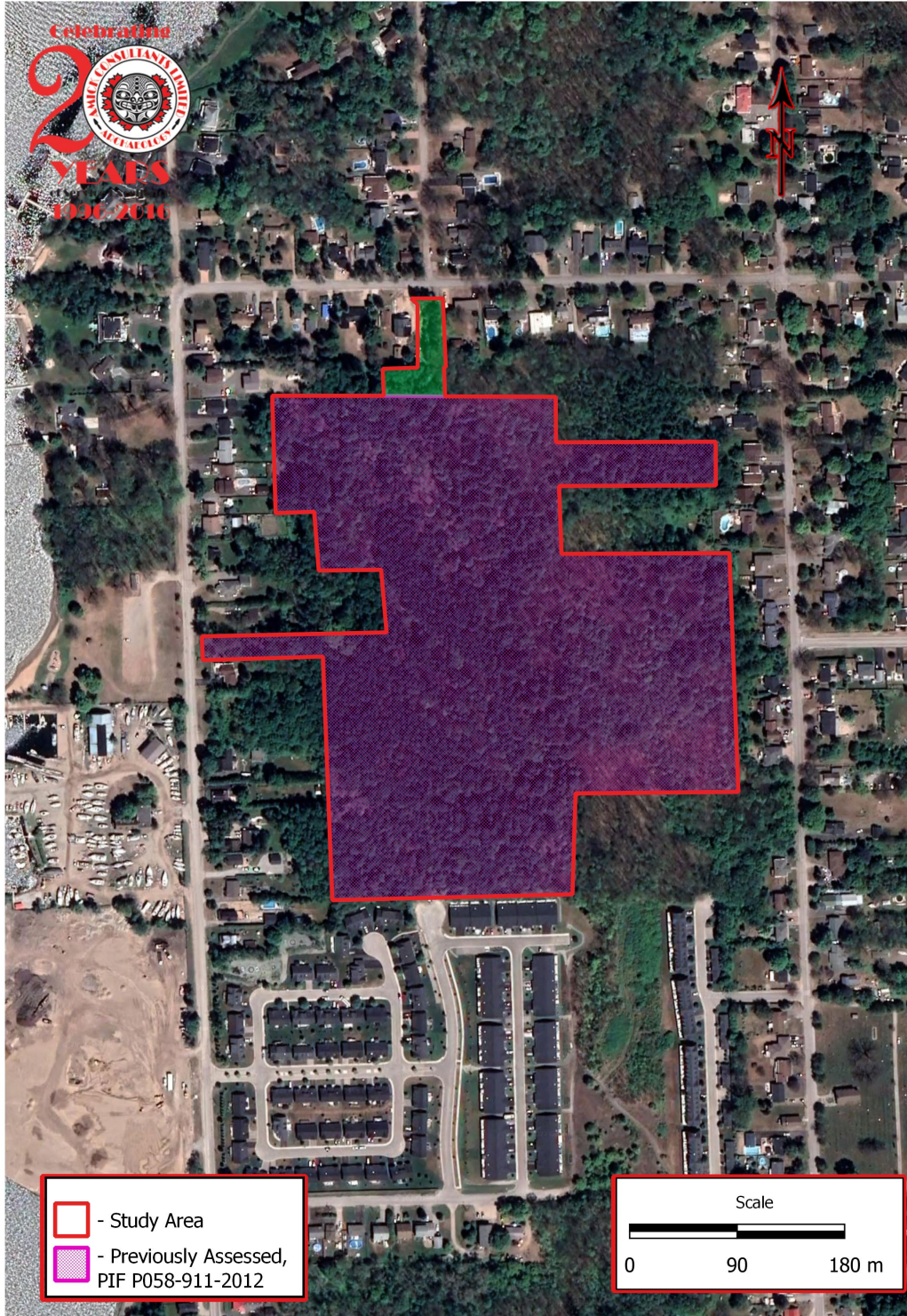
superkul 23 NOVEMBER 2021 SITE CONCEPT



221 Fox Street 28

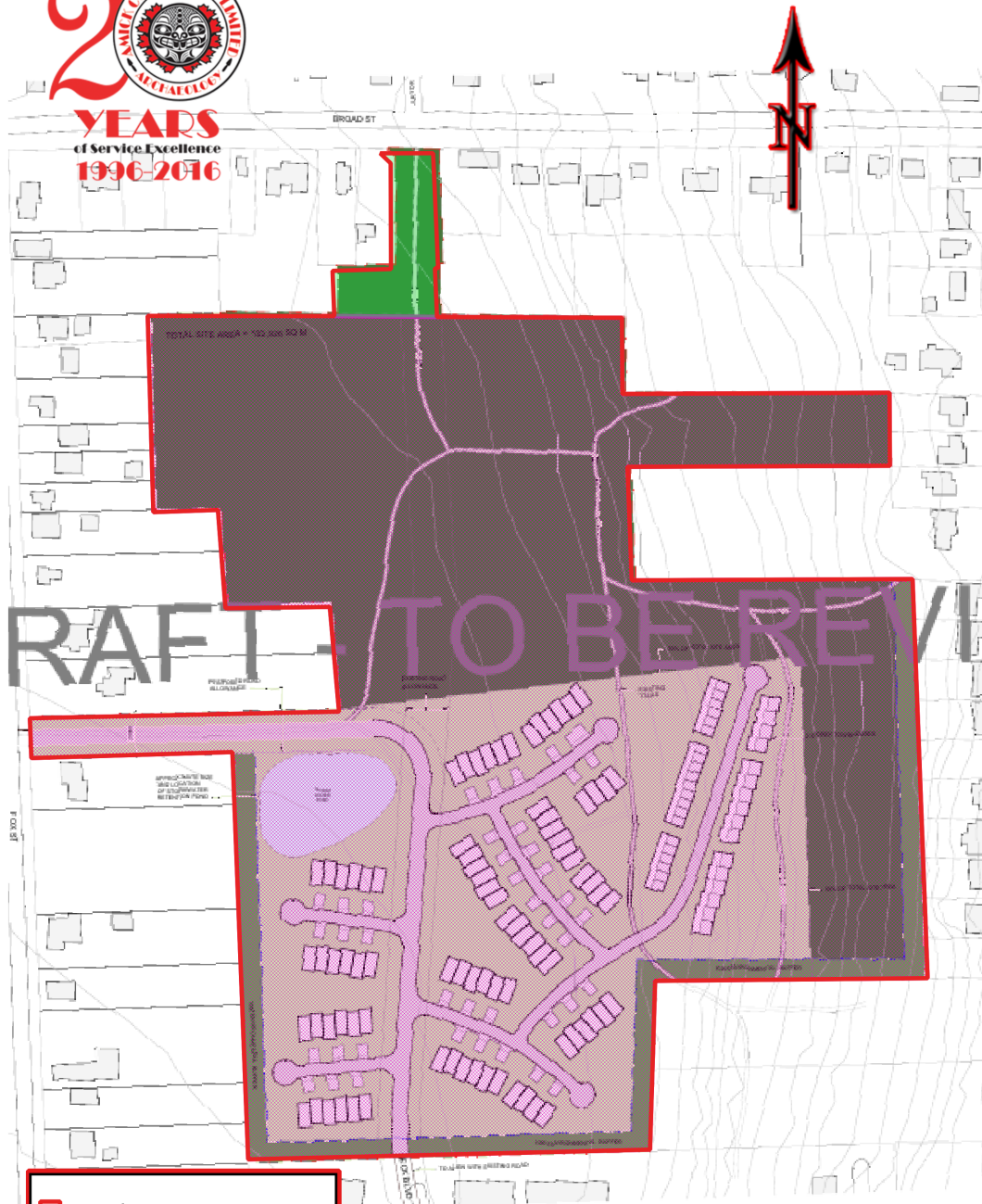
**MAP 3 DEVELOPMENT PLAN (SUPERKUL ARCHITECTURE 2021)**

*DRAFT 2022 Project 2022-662: Stage 1 Archaeological Background Study for 221 Fox Street, Penetanguishene, Part of Lot 116, Concession 1 (Geographic Township of Tiny), Town of Penetanguishene, County of Simcoe (AMICK File #2022-662/MTCS File #P058-2080-2022)*

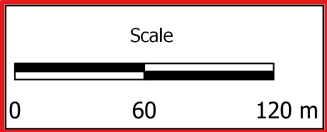


**MAP 4 AERIAL PHOTO OF THE STUDY AREA (GOOGLE EARTH 2016)**

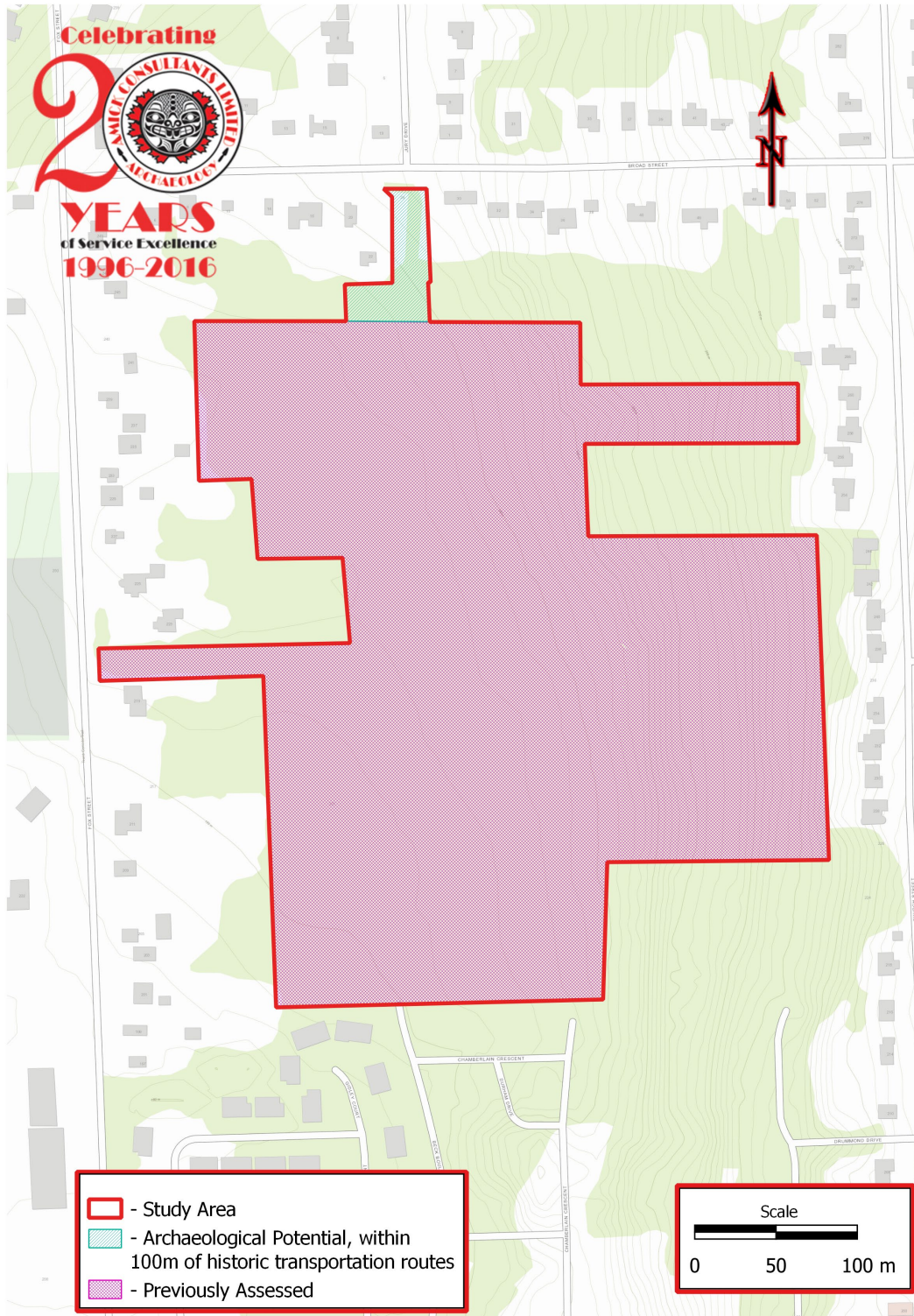
**DRAFT 2022 Project 2022-662: Stage 1 Archaeological Background Study for 221 Fox Street, Penetanguishene, Part of Lot 116, Concession 1 (Geographic Township of Tiny), Town of Penetanguishene, County of Simcoe (AMICK File #2022-662/MTCS File #P058-2080-2022)**

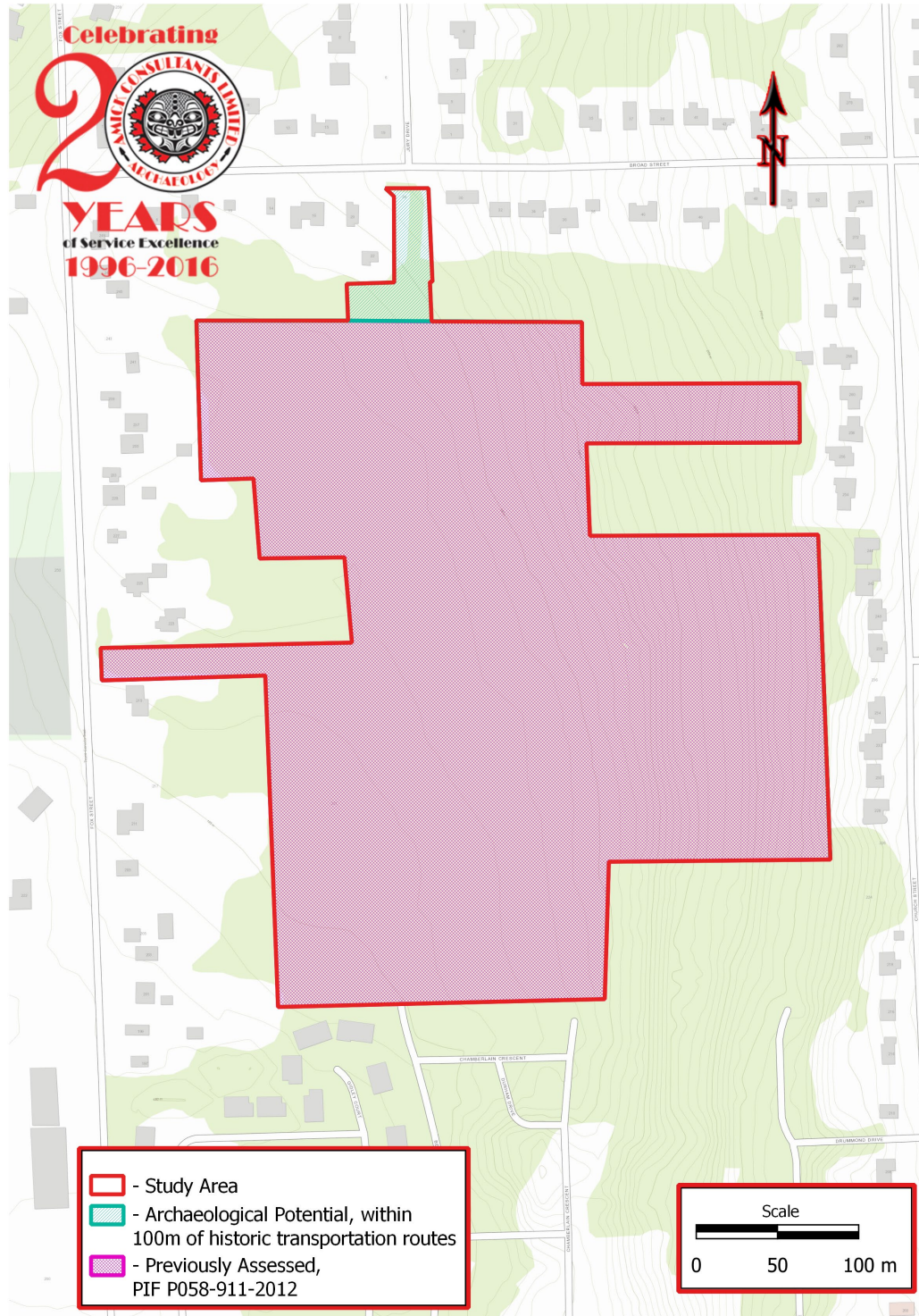


- Study Area
- Previously Assessed, PIF P058-911-2012
- Wooded Area, can be test pit surveyed at 5m intervals



**MAP 5 DETAILED PLAN OF THE STUDY AREA**





**MAP 6 ARCHAEOLOGICAL POTENTIAL (ESRI 2019)**