

ABBREVIATIONS	
@	AT
&	AND
^	AND
ABV.	ABOVE
ASPH.	ASPHALTIC CONCRETE
AC	AIR CONDITIONING
ACT.	ADDOE COUNTERTOP
ACOUST.	ACOUSTIC
ADDL.	ADDITIONAL
ADJ.	ADJACENT
ADF.	ABOVE FINISH FLOOR
AGG.	AGGREGATE
ALUM.	ALUMINUM
ALT.	ALTERNATE
ARCH.	ARCHITECTURAL
AVG.	AVERAGE
ARC.	ARC-FAULT CIRCUIT INTERRUPTER
B.D.	BOARD
B.F.	BOTH FACES
B.C.	BUILT-IN CABINET
B.L.D.G.	BUILDING
BLK.	BLOCK
BLKG.	BLOCKING
BLW.	BELOW
BRZ.	BRONZE
BTTM.	BOTTOM
BTR.	BETTER
B.TWN.	BETWEEN
BVL.	BEVELED
B.W.	BOTHWAYS
B.O.F.	BOTTOM OF FOOTING
CAB.	CABINET
CBF.	CUBIC FEET
CLG.	CEILING
CLJ.	CLOCK JOINT
CLR.	CLEAR
CMU.	CONCRETE MASONRY UNIT
CONTR.	CONCRETE
COL.	CLEAN OUT
C.O.	COLUMN
COMP.	COMPOSITION
CONC.	CONCRETE
CONN.	CONNECTION
CONT.	CONTINUOUS
CONTR.	CONTRACTOR
C.T.	CERAMIC TILE
C.W.	COMPLETE WIDTH
DBL.	DOUBLE
DET.	DETAIL
DEPT.	DEPARTMENT
D.F.	DOUGLAS FIR
DIA.	DIAMETER
DI.M.	DIMENSION
DIV.	DIVISION
DN.	DOWN
DW.	DISHWASHER
DWG.	DRAWING
EX.	EXISTING
E.A.	EACH
EJ	EXPANSION JOINT
ELECT.	ELECTRICAL
LEV.	ELEVATION
EMER.	EMERGENCY
ENR.	EDGE NAIL
EOP	EDGE OF PAVEMENT
E.O.S.	EDGE OF SLAB
EQ.	EQUAL
EQUIP.	EQUIPMENT
EXT.	EXTERIOR
EW.	EACH WAY
F.	FACE
FA.	FIRE ALARM
FACP	FIRE ALARM CONTROL PANEL
F.A.I.R.	FIRE AIR UNIT
FFE.	FINISHED FLOOR ELEVATION
FG.	FIXED GLASS
FH.	FIRE HYDRANT
FIN.	FINISH
FLR.	FLOOR
GA.	GALVANIZED
GALV.	GALVANIZED
GC	GENERAL CONTRACTOR
G.C.I.	GROUND-FAULT CIRCUIT INTERRUPTER
G.I.	GALVANIZED IRON
G-LAM.	GLUED LAMINATED BEAM
GLAND.	GLAND
GSM.	GALVANIZED SHEET METAL
GYP.	GYPSONUM WALL BOARD
G.M.W.B.	GYPSONUM WALL BOARD
GRPT	GROUND RAST PRESSURE TREATED
GSP	GROUND SQUARE FOOT
HC	HOSE BIB
HCW	HOLLOW CORE
HDWR.	HARDWARE
HORIZ.	HORIZONTAL
H.P.	HIGH POINT
HT.	HEIGHT
HTG.	HEATING
HVAC	HEATING/VENTILATION/AIR CONDITIONING
HW.	HOT WATER
H.W.H.	HOT WATER HEATER
H.W.D.	HORIZONTAL EACH WAY
ID.	INSIDE DIAMETER
MAX.	MAXIMUM
MECH.	MECHANICAL
MANUF.	MANUFACTURER
M.H.	MAN HOLE
MIN.	MINIMUM
MIR.	MIRROR
MISC.	MISCELLANEOUS
MICRO.	MICROWAVE
MOD.	MODULE
N.T.L.	NETAL
N.	NEW
NEC	NATIONAL ELECTRIC CODE
N.I.C.	NOT IN CONTRACT
N/A	NOT APPLICABLE
N.T.S.	NOT TO SCALE
O.	OVER
O.C.	ON CENTER
O.D.	OUTSIDE DIAMETER
OFD.	OVER FLOOR DRAIN
OH.	OVERHEAD
OPP.	OPPOSITE
PERF.	PERFORATED
P-LAM.	PLASTIC LAMINATED
PLYWD.	PLYWOOD
PNT.	PAINT
P.P.	POWER POLE
P.S.F.	POUNDS PER SQUARE FOOT
P.T.	PARTIALLY TREATED
PVC.	POLY VINYL CHLORIDE
P.V.M.T.	PUBLIC UTILITY EASEMENT
QT.	QUARRY TILE
QZ.	QUARTZ
R.	RISER
RAD.	RADIUS
R.D.	ROOF DRAIN
R.D.W.D.	REDWOOD
REINF.	REINFORCING
REF.	REFRIGERATOR
REQ'D	REQUIRED
RET.	RETAINING
REV.	REVISION
RM.	ROOM
R.O.	ROUGH OPENING
S.	SOLID CORE
SCHED.	SCHEDULE
SD	SOAP DISPENSER
STOR.	STORAGE
STOR.	STORM DRAIN
SECT.	SECTION
S.E.Z.	STREAM EASEMENT ZONE
S.F.	SQUARE FEET
SHT.	SHEET
SHLV.	SHELVES
SHWR.	SHOWERS
SIM.	SIMILAR
SLR.	SEALER
SPEC.	SPECIFICATIONS
SQR.	SQUARE
S&R	SHELF & ROD
SAN	SANITARY SEWER
S.S.D.	SEE STRUCTURAL DRAWINGS
S.S.	STAINLESS STEEL
STD.	STANDARD
STL.	STEEL
STOR.	STORAGE
STRUCT.	STRUCTURAL
SUSP.	SUSPENDED
S.W.	SHEAR WALL
T.	TREAD
T.C.	TRASH COMPACTOR
TEMP.	TEMPERED
T.G.	TONGUE & GROOVED
TV	TELEVISION
TYF.	TYPICAL
VERT.	VERTICAL
VIF.	VERIFY IN FIELD

LEGEND
















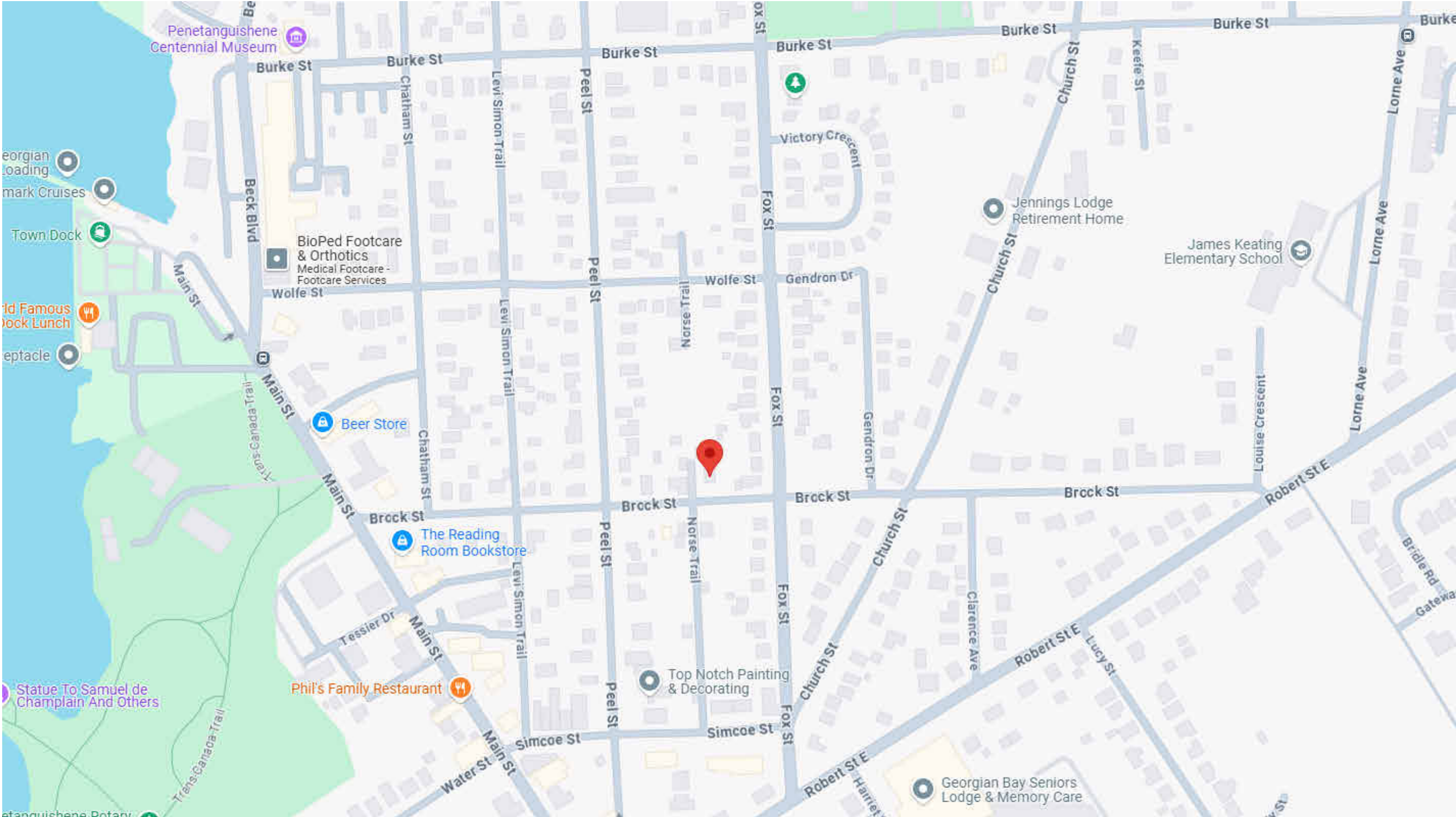
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|---|------------------------------------|
|  | Wall Type (see wall type schedule) |
|  | Door Type (see door schedule) |
|  | Window Type (see window schedule) |
|  | Building Section |
|  | Wall Section |
|  | Detail Number |
|  | Building Elevation |
|  | Interior Elevation |
|  | Elevation Mark |
|  | Room Name / Number |
|  | Centerline |
|  | Revised |
|  | Revision Tag |



PHOTO OF PROJECT



LOCATION MAP

PROJECT INFORMATION	PROJECT DESCRIPTION	PROJECT TEAM
<div>LOT ADDRESS: 27 Brock St. Penetanguishene, ON L9M 1R9</div> <div>LOT SIZE: 8,272.74 SQFT</div> <div>ZONING: R1</div> <div>PROPOSED GROSS SQUARE FOOTAGE: 1595 SQFT</div>	SCOPE OF WORK: SPLIT BASEMENT AND MAIN FLOOR INTO TWO SEPARATE UNITS, UPSTAIRS UNIT UNCHANGED	<div><div>OWNER:</div><div><div>PHONE EMAIL ADDRESS</div><div>CAMERON JACKSON 289-380-3483 CAMERONJACKSON@HOTMAIL.CA 27 BROCK ST. PENETANGUISHENE, ON L9M 1R9</div></div></div> <div><div>ARCHITECTURAL DESIGNER:</div><div><div>PHONE EMAIL ADDRESS</div><div>JUSTIN SIMPSON 905-906-3533 INFO@SIMPSONARCHITECTURE.CA 22701 CATERING RD. QUEENSVILLE ON. L0G 1R0</div></div></div> <div></div> <div></div>

PROJECT NOTES

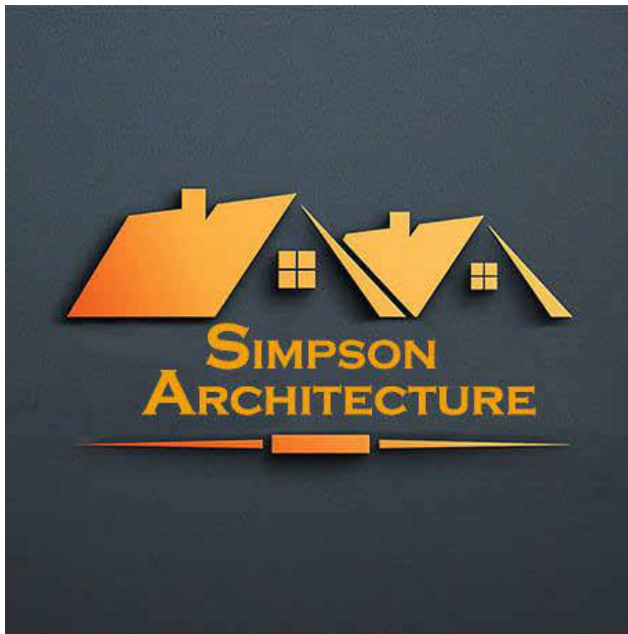


PROJECT NOTES

- | | |
|-----|---|
| 3. | ALL CONSTRUCTION WORK SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE BUILDING CODES AND ORDINANCES OR AGENCIES HAVING JURISDICTION OVER THIS PROJECT. |
| 2. | ESTABLISH AND MAINTAIN PROJECT SAFETY DURING CONSTRUCTION TO PROTECT PERSONNEL, TENANTS, AND BUILDING OCCUPANTS. . |
| 3. | THE GENERAL CONTRACTOR SHALL ARRANGE ALL INSPECTIONS AND TESTS AS SPECIFIED OR REQUIRED BY THE BUILDING DEPARTMENT AND SHALL PAY ALL COSTS AND FEES FOR SAME. THE CONTRACTOR SHALL SECURE ALL BUILDING PERMITS AND UPON COMPLETION OF THE PROJECT (PRIOR TO FINAL PAYMENT) DELIVER TO THE OWNER A CERTIFICATE OF OCCUPANCY OR USE FROM THE BUILDING DEPARTMENT. . |
| 4. | ALL PLUMBING AND ELECTRICAL WORK SHALL BE PERFORMED BY LICENSED CONTRACTORS. CONTRACTORS SHALL SUBMIT ALL REQUIRED PERMITS, CERTIFICATES, AND SIGN-OFFS TO OWNER |
| 5. | THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS, BE FAMILIAR WITH THE EXISTING CONDITIONS, AND BRING ANY DISCREPANCIES TO THE ATTENTION OF THE DESIGNER PRIOR TO SUBMISSION OF CONSTRUCTION PROPOSAL AND BEFORE COMMENCEMENT OF THE WORK. THE DRAWINGS REFLECT CONDITIONS REASONABLY INFERRED FROM THE EXISTING VISIBLE CONDITIONS BUT CANNOT GUARANTEED BY THE DESIGNER. DRAWINGS MAY NOT BE SCALED, VERIFY ALL DIMENSIONS IN THE FIELD. |
| 6. | CONTRACTOR SHALL FIELD VERIFY ALL MEASUREMENTS, LOCATIONS, AND CHARACTERISTICS OF ALL WORK AND EQUIPMENT (WHETHER SUPPLIED BY THE OWNER OR OTHERS) WITH THE SUPPLIER OR MANUFACTURER PRIOR TO THE START OF RELATED WORK. |
| 7. | THE GENERAL CONTRACTOR SHALL LAY OUT ALL WORK AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS FOR TRADES SUCH AS ELECTRICAL, PLUMBING, ETC. |
| 8. | THE GENERAL CONTRACTOR/CONSTRUCTION MANAGER SHALL PROVIDE AND MAINTAIN ACCESS TO THE PREMISES AT ALL TIMES. |
| 9. | THE GENERAL CONTRACTOR SHALL KEEP THE CONSTRUCTION SITE FREE AND CLEAR OF ALL DEBRIS AND KEEP OUT ALL UNAUTHORIZED PERSONS. UPON COMPLETION OF WORK, THE ENTIRE CONSTRUCTION AREA IS TO BE THOROUGHLY CLEANED AND PREPARED FOR OCCUPANCY BY OWNER. ALL MATERIALS AND DEBRIS RESULTING FROM THE CONTRACTOR'S WORK SHALL BE REMOVED FROM THE SITE AND DISPOSED OF PROPERLY. CARE SHALL BE TAKEN DURING CONSTRUCTION THAT NO DEBRIS OR MATERIALS ARE DEPOSITED IN ANY RIGHT OF WAY AREA. |
| 10. | THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING AND NEW CONDITIONS AND MATERIALS ON THE SITE. ANY DAMAGE CAUSED BY OR DURING THE EXECUTION OF THE WORK IS THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE. |
| 11. | ANY VARIATIONS FROM INDICATED DIMENSIONS OR CONDITIONS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE DESIGNER. |
| 12. | NO CHANGES ARE TO BE MADE WITHOUT THE APPROVAL OF THE DESIGNER. |
| 13. | NO CUTTING OR DAMAGE TO BUILDING STRUCTURAL COMPONENTS WILL BE ALLOWED WITHOUT WRITTEN AUTHORIZATION FROM THE DESIGNER. |
| 14. | PROVIDE BRACING, BLOCKING, AND/OR STRUCTURE AS REQUIRED TO FACILITATE INSTALLATION OF ALL WALL AND MILLWORK MOUNTED EQUIPMENT, IN NEW AND EXISTING WALLS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE SUPPORT REQUIRED TO MAINTAIN THE INTEGRITY OF THE WALLS AND THE SECURITY OF THE EQUIPMENT. |
| 15. | ALL WOOD BLOCKING SHALL BE FIRE RETARDANT TREATED. PROVIDE WOOD BLOCKING IN ALL STUD WALLS AT MILLWORK AND SPECIAL ITEM ANCHORING POINTS. WOOD BLOCKING SHALL BE MOISTURE TREATED IF LOCATED IN DAMP LOCATIONS OR ADJACENT TO CONCRETE OR MASONRY CONSTRUCTION. IF WOOD BLOCKING IS NOT PERMITTED BY CODE, THEN METAL STRIPS SHALL BE USED. |
| 16. | THE CONTRACTOR IS RESPONSIBLE FOR FIELD DIMENSIONS OF ALL MILLWORK, GLASS, DOOR OPENINGS, AND OTHER STRUCTURES PRIOR TO COMMENCEMENT OF FABRICATION. |
| 17. | ALL WORK SHALL CONFORM IN QUALITY TO ACCEPTED INDUSTRY STANDARDS. ALL MILLWORK SHALL CONFORM TO A.W.I. PREMIUM GRADE STANDARDS, UNLESS OTHERWISE NOTED. |
| 18. | THE MATERIALS LAID FOR CONSTRUCTION OF SPACE SHALL NOT CONTAIN ASBESTOS, P.C.B. OR ANY OTHER HAZARDOUS MATERIALS OF ANY TYPE. MANUFACTURERS' NAMES AND TRADEMARKS SHALL NOT BE PROMINENTLY VISIBLE TO THE PUBLIC. |
| 19. | ALL WALLS TO BE LAID OUT AT 90-DEGREE ANGLES UNLESS OTHERWISE NOTED. |
| 20. | THE SCOPE OF WORK OF ALL TRADES IS TO INCLUDE ALL MATERIALS AND LABOR REQUIRED TO TOTALLY COMPLETE THE PROJECT AND BE FUNCTIONALLY CONSISTENT WITH THE DESIGN INTENT AS EXPRESSED IN THE CONSTRUCTION DOCUMENTS. |
| 21. | ALL UTILITIES SHALL BE CONNECTED TO PROVIDE GAS, ELECTRIC, AND WATER TO ALL EQUIPMENT WHETHER SAID EQUIPMENT IS IN CONTRACT OR NOT. EQUIPMENT SHALL BE GUARANTEED TO FUNCTION PROPERLY UPON COMPLETION. |
| 22. | MANUFACTURER'S STANDARD SPECIFICATIONS AND MATERIALS APPROVED FOR PROJECT USE ARE HEREBY MADE PART OF THESE NOTES WITH SAME FORCE AND EFFECT AS IF WRITTEN OUT IN FULL HEREIN. ALL APPLIANCES, FIXTURES, EQUIPMENT, HARDWARE, ETC. SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND PROCEDURES. |
| 23. | THERMOSTATS SHALL NOT BE LOCATED IN THE CENTER OF A WALL, ON AN ACCENT/SPECIALTY WALL, OR IN A LOCATION WHICH CONFLICTS WITH FURNISHINGS WITHOUT THE DESIGNER'S APPROVAL. |
| 24. | WRITTEN WORDS TAKE PRECEDENCE OVER DRAWN LINES. LARGE-SCALE DETAILS AND PLANS TAKE PRECEDENCE OVER SMALLER DETAILS AND DRAWINGS. SHOULD A CONFLICT ARRIVE BETWEEN THE SPECIFICATIONS AND DRAWINGS, THE REQUIREMENTS DEEMED MOST STRINGENT SHALL BE USED. |
| 25. | MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED BUT NECESSARY FOR PROPER AND ACCEPTABLE CONSTRUCTION, INSTALLATION, OR OPERATION OF ANY PART OF THE WORK AS DETERMINED BY THE ARCHITECT SHALL BE INCLUDED IN THE WORK AS IF IT WERE SPECIFIED OR INDICATED ON THE DRAWINGS. |
| 26. | ALL ARCHITECTURAL DRAWINGS AND CONSTRUCTION NOTES ARE COMPLIMENTARY. WHAT IS INDICATED AND CALLED FOR BY ONE SHALL BE BINDING AS THOUGH CALLED FOR BY ALL. NO DEVIATION FROM THE DRAWINGS OR SPECIFICATIONS OR INTENT OF SAME SHALL BE MADE WITHOUT THE DESIGNER'S WRITTEN AUTHORIZATION. |
| 27. | ALL WORK SHALL BE GUARANTEED FOR ONE YEAR AFTER FINAL APPROVAL. THE GENERAL CONTRACTOR SHALL SIGN THE WRITTEN GUARANTEE AS PROVIDED BY THE OWNER. THE GUARANTEE SHALL COVER ALL GENERAL AND SUBCONTRACTOR WORK. ALL DEFECTS DISCOVERED DURING THIS PERIOD SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE. |
| 28. | ALL DIMENSIONS ARE TO FACE OF STUD OR CENTERLINE OF STRUCTURE UNLESS OTHERWISE NOTED. |
| 29. | DOOR AND WINDOW DETAILS ARE INDICATED ON THE DOOR AND WINDOW SCHEDULES. DOOR AND WINDOW DIMENSIONS ARE TO CENTERLINES OF UNITS UNLESS OTHERWISE NOTED. |

Sheet No. _____
Title Page
General Notes
General Notes
Site Plan
Existing Basement
Existing Main Floor
Existing Second Floor
Elevation
Schedules

Sheet List	
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Existing Second Floor Plan	A05
Elevation	A06
Schedules	A07



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1. ALL DRAWINGS AND SPECIFICATIONS PROVIDED HEREIN ARE CONSIDERED PROPRIETARY DOCUMENTS CRAFTED BY SIMPSON ARCHITECTURE. THESE MATERIALS ARE SAFEGUARDED UNDER INTELLECTUAL PROPERTY RIGHTS AND MAY NOT BE REPLICATED, DISSEMINATED, MODIFIED, OR SUBMITTED FOR APPROVAL WITHOUT OBTAINING EXPLICIT WRITTEN CONSENT FROM SIMPSON ARCHITECTURE. UNAUTHORIZED USE, DISTRIBUTION, OR ALTERATION OF THESE MATERIALS IS STRICTLY PROHIBITED.
2. ONLY VERIFIED FINAL DRAWINGS BEARING THE STAMP "FOR CONSTRUCTION PURPOSE" SHALL BE USED ON THE JOB SITE. DRAWINGS WITHOUT THE STAMP ARE CONSIDERED PRELIMINARY DRAWINGS ONLY.
3. ALL WORK INHERENT TO THIS PROJECT SHALL BE PERFORMED ACCORDING TO THE ONTARIO BUILDING CODE.
4. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL LEVELS & DIMENSIONS, ANY DISCREPANCIES ARE TO BE REPORTED TO SIMPSON ARCHITECTURE BEFORE COMMENCING THE WORK.

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer		
QUALIFICATION INFORMATION		
Required unless the design is exempt under 2.17.5.1. of the Building Code		
Justin Simpson	Justin Simpson <small>(Indicate whether you are a Designer or Architect. If both, list both titles.)</small>	123605
NAME	SIGNATURE	BCIN
REGISTRATION INFORMATION		
Required unless the design is exempt under 2.17.5.1. of the Building Code		
Justin Simpson O/A Simpson Architecture		203362
FIRM NAME		BCIN

[illegible]

The Jackson's

27 Brock St.
Penetanguishene, ON L9M
1R9

Title Page

Project Number	25-009
Issued For Permit Date	25-07-03
Drawn By	Justin Simpson
BCIN #	123605

A00

Scale $1/4" = 1'-0"$

EXCAVATION AND BACKFILL

*EXCAVATION SHALL BE UNDERTAKEN IN SUCH A MANNER SO AS TO PREVENT DAMAGE TO EXISTING STRUCTURES, ADJACENT PROPERTY AND UTILITIES
*THE TOPSOIL AND VEGETABLE MATTER IN UNEXCAVATED AREAS UNDER A BUILDING SHALL BE REMOVED. THE BOTTOM OF EXCAVATIONS FOR FOUNDATIONS SHALL BE FREE OF ALL ORGANIC MATERIAL
*IF TERMITES ARE KNOWN TO EXIST, ALL STUMPS, ROOTS AND WOOD DEBRIS SHALL BE REMOVED TO A MINIMUM DEPTH OF 300mm IN EXCAVATED AREAS
UNDER A BUILDING, AND THE CLEARANCE BETWEEN UNTREATED STRUCTURAL WOOD ELEMENTS AND THE GROUND SHALL BE NO LESS THAN 450mm
*BACKFILL WITHIN 600mm OF THE FOUNDATION WALLS SHALL BE FREE OF DELETERIOUS DEBRIS AND BOULDERS OVER 250mm IN DIAMETER

DAMP PROOFING AND DRAINAGE

*IN NORMAL SOIL CONDITIONS , THE EXTERIOR SURFACES OF FOUNDATION WALLS ENCLOSING BASEMENTS AND CRAWL SPACES SHALL BE DAMP PROOFED.
WHERE HYDROSTATIC PRESSURE OCCURS, A WATERPROOFING SYSTEM IS REQUIRED
*MASONRY FOUNDATION WALLS SHALL BE PARGED WITH 6mm OF MORTAR COVERED OVER THE FOOTING PRIOR TO DAMP PROOFING
*100mm DIA. FOUNDATION DRAINS SHALL BE LAID ON LEVEL, UNDISTURBED GROUND ADJACENT TO THE FOOTINGS AT OR BELOW THE TOP OF THE BASEMENT SLAB OR CRAWL SPACE FLOOR, AND SHALL BE COVERED WITH 150mm OF CRUSHED STONE. FOUNDATION DRAINS SHALL DRAIN TO A DRAINAGE DITCH, DRY WELL OR SUMP
*WINDOW WELLS SHALL BE DRAINED TO THE FOOTING LEVEL OR TO A DITCH OR SUMP PUMP
*DOWNSPOUTS SHALL HAVE EXTENSIONS TO CARRY WATER AWAY FROM THE BUILDING AND PROVISIONS SHALL BE MADE TO PREVENT SOIL EROSION
*CONCRETE SLABS IN ATTACHED GARAGES SHALL BE SLOPED TO DRAIN TO THE EXTERIOR
*THE BUILDING SITE SHALL BE GRADED SO THAT SURFACE, SUMP, AND ROOF DRAINAGE WILL NOT ACCUMULATE AT OR NEAR THE BUILDING AND WILL NOT ADVERSELY AFFECT ADJACENT PROPERTIES

FOOTINGS

*MINIMUM 15MPA POURED CONCRETE
*MINIMUM 1200mm BELOW FINISHED GRADE
*FOOTINGS SHALL BE FOUNDED ON NATURAL UNDISTURBED SOIL, ROCK OR COMPACTED GRANULAR FILL WITH MINIMUM BEARING CAPACITY OF 75KPA, 100KPA FOR ICF

FOOTING SIZE

FLOORS SUPPORTING	SUPPORTING COLUMN		
SUPPORTED	EXT. WALL	INT. WALL	AREA
1	250mm	200mm	0.40m2
2	350mm	350mm	0.75m2
3	450mm	500mm	1.00m2

*INCREASE EXTERIOR FOOTING WIDTH BY 65mm FOR EACH STOREY OF BRICK VENEER SUPPORTED BY 130mm FOR EACH STOREY OF MASONRY AND BY 150mm FOR ICF
*INCREASE INTERIOR FOOTING WIDTH BY 100mm FOR EACH STOREY OF MASONRY ABOVE FOOTING AND BY 100mm FOR EACH 2700mm OF WALL HEIGHT ABOVE 5500mm
*THE PROJECTION OF AN UNREINFORCED FOOTING BEYOND THE WALL SUPPORTED SHALL NOT BE GREATER THAN ITS THICKNESS

STEP FOOTINGS

STEP FOOTINGS: HORIZONTAL STEP = 600mm (23 5/8") MIN. VERTICAL STEP = 600mm (23 5/8") MAX, FOR FIRM SOILS, 400mm FOR SAND & GRAVEL.
CONCRETE STRENGTH AT 28 DAYS MIN 25MPA ALLOW FULL 48HRS FOR CONCRETE TO CURE PRIOR TO GROUTING AND PROCEEDING TO THE ALTERNATING NEXT STAGE
SHORE AND BRACE WHERE NECESSARY TO ENSURE THE SAFETY AND STABILITY OF BOTH EXISTING STRUCTURES DURING UNDERPINNING

FOUNDATION WALLS

*TO BE POURED CONCRETE, UNIT MASONRY, ICF OR PRESERVED WOOD (SEE DRAWINGS FOR TYPE AND THICKNESS)
*DAMP PROOFING SHALL BE A HEAVY COAT OF BITUMINOUS MATERIAL
*FOUNDATION WALL TO EXTEND MINIMUM 150mm ABOVE FINISHED GRADE
*A DRAINAGE LAYER IS REQUIRED ON THE OUTSIDE OF A FOUNDATION WALL WHERE THE INTERIOR INSULATION EXTENDS MORE THAN 900mm BELOW EXTERIOR GRADE. A DRAINAGE LAYER SHALL CONSIST OF
-MIN. 19mm MINERAL FIBRE INSULATION WITH MIN. DENSITY OF 57KG/m3
-MIN. 100mm OF FREE DRAINAGE GRANULAR MATERIAL, OR
-AN APPROVED SYSTEM WHICH PROVIDES EQUIVALENT PERFORMANCE
*FOUNDATION WALLS SHALL BE BRACED OR HAVE THE FLOOR JOISTS INSTALLED BEFORE BACKFILLING

CONCRETE FLOOR SLABS

*GARAGE, CARPORT AND EXTERIOR SLABS AND EXTERIOR STEPS SHALL BE 32MPA CONCRETE WITH 5-8% AIR ENTRAINMENT
*BASEMENT SLAB 25MPA CONCRETE, MINIMUM 75mm THICK, PLACED ON A MINIMUM 100mm OF COARSE, CLEAN, GRANULAR MATERIAL
*ALL FILL OTHER THAN COARSE, CLEAN MATERIAL PLACED BENEATH CONCRETE SLABS SHALL BE COMPACTED TO PROVIDE UNIFORM SUPPORT

MASONRY WALLS

*WHERE CONSTRUCTED OF 90mm BRICK, WALL SHALL BE BONDED WITH A HEADER COURSE EVERY 600mm O/C VERTICALLY AND HORIZONTALLY AND 900mm O/C FOR BLOCK OR TILE
*PROVIDE 50mm SOLID MASONRY, CONCRETE FILLED TOP COURSE OR CONTINUOUS 38X89 WOOD PLATE UNDER ALL ROOF AND FLOOR FRAMING MEMBERS
*PROVIDE 190mm SOLID MASONRY UNDER BEAMS AND COLUMNS

*MASONRY WALL TO BE TIED TO EACH TIER OF JOISTS WITH 40mm X 4.76mm CORROSION RESISTANT STEEL STRAPS, KEYED MINIMUM 100mm INTO MASONRY. WHEN JOISTS ARE PARALLEL TO WALL, TIES ARE TO EXTEND ACROSS AT LEAST 3 JOISTS @ 2000mm O.C.
*INSIDE OF WALL TO BE PARGED AND COVERED WITH NO. 15 BREATHER-TYPE ASPHALT PAPER
*FOR REDUCED FOUNDATION WALLS TO ALLOW A BRICK FACING WHILE MAINTAINING LATERAL SUPPORT, TIE MINIMUM 90mm BRICK TO MINIMUM 90mm BACKUP BLOCK WITH CORROSION RESISTANT TIES AT LEAST 17.8m2 IN CROSS SECTIONAL AREA, SPACED 200mm VERTICALLY AND 900mm HORIZONTALLY, WITH JOINTS COMPLETELY FILLED WITH MORTAR
*MASONRY OVER OPENINGS SHALL BE SUPPORTED ON CORROSION RESISTANT OR PRIME PAINTED STEEL LINTELS WITH A MINIMUM OF 150mm END BEARING.

MASONRY VENEER

*MINIMUM 70mm THICK IF JOINTS ARE NOT RAKED AND 90mm THICK IF JOINTS ARE RAKED
*MINIMUM 25mm AIR SPACE TO SHEATHING
*PROVIDE WEEP HOLES @ 800mm O.C. AT THE BOTTOM OF THE CAVITY AND OVER THE DOORS AND WINDOWS
*DIRECT DRAINAGE THROUGH WEEP HOLES WITH 0.5mm POLY FLASHING EXTENDING MINIMUM 150mm UP BEHIND THE SHEATHING PAPER
*VENEER TIES MINIMUM 0.76mm THICK X 22mm WIDE CORROSION RESISTANT STRAPS SPACED @ 500mm VERTICALLY AND 600mmHORIZONTALLY
*FASTEN TIES WITH CORROSION RESISTANT 3.18mm DIAMETER SCREWS OR SPIRAL NAILS WHICH PENETRATE AT LEAST 30mm INTO STUDS

WOOD FRAME CONSTRUCTION

*ALL LUMBER SHALL BE SPRUCE-PINE-FIR NO. 1 & 2, AND SHALL BE IDENTIFIED BY A GRADE STAMP
*MAXIMUM MOISTURE CONTENT 19% AT TIME OF INSTALLATION
*WOOD FRAMING MEMBERS WHICH ARE SUPPORTED ON CONCRETE IN DIRECT CONTACT WITH SOIL SHALL BE SEPARATED FROM THE CONCRETE WITH 0.05mm POLYETHYLENE OR TYPE 'S' ROLL ROOFING WALLS

*EXTERIOR WALLS SHALL CONSIST OF :

- CLADDING
- AIR BARRIER SYSTEM LAPPED 100mm AT JOINTS
- LUMBER, PLYWOOD, OSB OR GYPSUM SHEATHING
- 38X140 STUDS @ 400mm O.C.
- RSI PER TABLE PROVIDED
- 38X140 BOTTOM PLATE
- 38X140 DOUBLE TOP PLATE

*INTERIOR LOAD BEARING WALLS SHALL CONSIST OF :

- 38X89 STUDS @ 400mm O.C.
- 38X89 BOTTOM PLATE AND DOUBLE 38X89 TOP PLATE
- 38X89 MID-GIRTHS IF NOT SHEATHED
- 12.7mm GYPSUM BOARD SHEATHING

FLOORS

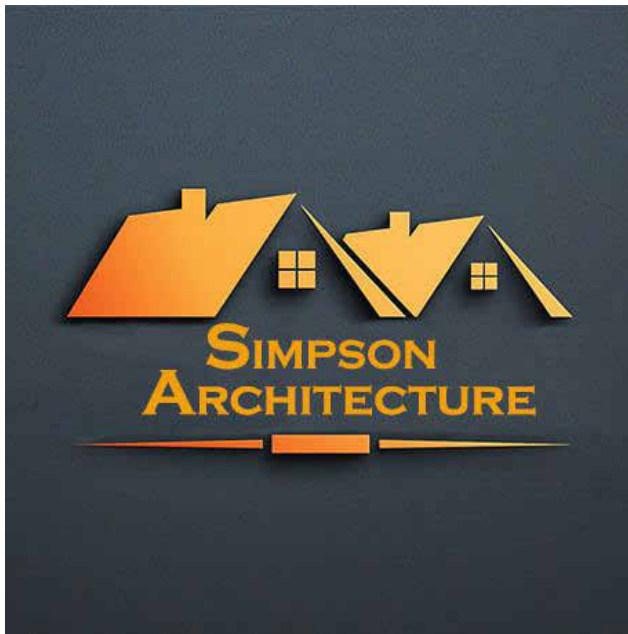
*SEE STRUCTURAL ENGINEERING DRAWINGS FOR FLOOR JOIST SIZE AND SPACING REQUIREMENTS
*JOISTS TO HAVE MINIMUM 38mm OF END BEARING
*JOISTS SHALL BEAR ON A SILL PLATE FIXED TO FOUNDATION WITH 12.7mm ANCHOR BOLTS @ 2400mm O.C
*HEADER JOISTS BETWEEN 1200mm AND 3200mm IN LENGTH SHALL BE SIZED BY CALCULATIONS
*TRIMMER JOISTS SHALL BE DOUBLED WHEN SUPPORTED HEADER IS BETWEEN 800mm AND 2000mm. TRIMMER JOISTS SHALL BE SIZED BY CALCULATIONS WHEN SUPPORTED HEADER EXCEEDS 2000mm.
*38X38 CROSS BRIDGING REQUIRED NOT MORE THAN 2100MM FROM EACH SUPPORT AND FROM OTHER ROWS OF BRIDGING
*JOISTS SHALL BE SUPPORTED ON JOISTS HANGERS AT ALL FLUSH BEAMS, TRIMMERS, AND HEADERS
*NON-LOAD BEARING PARTITIONS SHALL BE SUPPORTED ON A JOISTS OR ON BLOCKING BETWEEN JOISTS
*SEE STRUCTURAL ENGINEERING DRAWINGS FOR SUBFLOORING REQUIREMENTS

ROOF AND CEILINGS

*SEE STRUCTURAL ENGINEERING DRAWINGS FOR ROOF CONSTRUCTION SIZING AND SPACING REQUIREMENTS
*HIP AND VALLEY RAFTER SHALL BE 38mm DEEPER THAN COMMON RAFTERS
*38X89 COLLAR TIES @ RAFTER SPACING WITH 19X89 CONTINUOUS BRACE AT MID SPAN IF COLLAR TIE EXCEEDS 2400mm IN LENGTH
*SEE STRUCTURAL DRAWINGS FOR ROOF SHEATHING REQUIREMENTS

NOTCHING & DRILLING OF TRUSSES, JOISTS, RAFTERS

*HOLES IN FLOOR, ROOF AND CEILING MEMBERS TO BE NOT LARGER THAN 1/4 THE ACTUAL DEPTH OF MEMBER AND NOT LESS THAN 50mm FROM EDGES
*NOTCHES IF FLOOR, ROOF AND CEILING MEMBERS TO BE LOCATED ON TOP OF THE MEMBER WITHIN 1/2 THE ACTUAL DEPTH FROM THE EDGE OF BEARING AND NOT GREATER THAN 1/3 THE JOIST DEPTH
*WALL STUDS MAY BE NOTCHED OR DRILLED PROVIDED THAT NO LESS THAN 2/3 THE DEPTH OF THE STUD REMAINS, IF LOAD BEARING AND 40mm IF NON - LOAD BEARING
*ROOF TRUSS MEMBERS SHALL NOT BE NOTCHED, DRILLED OR WEAKENED UNLESS ACCOMMODATED IN THE DESIGN
*Wall studs may be notched or drilled provided that no less than 2/3 the depth of the stud remains, if load bearing and 40mm if non - load bearing
*Roof truss members shall not be notched, drilled or weakened unless accommodated in the design



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The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer		
Required unless the design is exempt under 2.17.5.1. of the Building Code		
Justin Simpson	Justin Simpson "Justin Simpson Architecture"	123605
NAME	SIGNATURE	BCIN
Required unless the design is exempt under 2.17.5.1. of the Building Code		
Justin Simpson O/A Simpson Architecture		203362
FIRM NAME		BCIN

No.	Description	Date

The Jackson's

27 Brock St.
Penetanguishene, ON L9M 1R9

General Notes

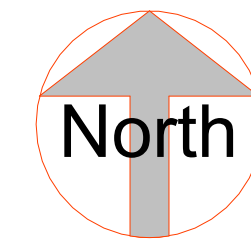
Project Number	25-009
Issued For Permit Date	25-07-03
Drawn By	Justin Simpson
BCIN #	123605

A01

Scale

The site plan for 27 Brock Street shows a property bounded by neighboring properties on the north, east, and west. The property is divided into several areas:

- EXISTING 154 SQFT SHED:** Located in the northwest corner, with a height of 9' to the midpoint of the roof peak. Dimensions are 8'-6" wide and 11'-0" deep.
- EXISTING 667 SQFT GARAGE:** Located south of the shed, with a height of 12' to the midpoint of the roof peak. Dimensions are 3'-5" wide and 27'-12" deep.
- EXISTING TWO STOREY DWELLING W/ EXISTING ACCESSORY APARTMENT AT 27 BROCK ST.:** Located in the center of the property. It includes an existing main floor apartment entrance and an existing second floor apartment entrance.
- PROPOSED 912.04 SQFT ADU IN BASEMENT:** Located in the basement of the existing dwelling.
- PROPOSED 731.07 SQFT MAIN FLOOR ADU:** Located on the main floor of the existing dwelling.
- PROPOSED 930.84 SQFT PRIMARY RESIDENCE UPSTAIRS:** Located on the upper floor of the existing dwelling.
- EXISTING GRAVEL DRIVEWAY:** Located in the southwest corner, with a width of 22'-2".
- LANDSCAPING AREAS:** Three areas are identified: 3442.57 SQFT in the northwest, 136.58 SQFT in the center, and 892.76 SQFT in the southeast.
- PARKING SPACE SIZE:** A dashed rectangle indicates a parking space of 9'-0" by 18'-0".
- NEIGHBORING PROPERTY:** The property is bounded by neighboring properties on the north, east, and west.
- BROCK STREET:** The property is located on Brock Street, which is 49'-9" wide.
- North Arrow:** A north arrow is located in the top right corner, pointing towards the top of the page.



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QUALIFICATION INFORMATION

Required unless the design is exempt under 2.17.5.1. of the Building Code

Justin Simpson	Justin Simpson	Digitally signed by Justin Simpson Date: 2024.11.29 14:37:39 -0500	123605
NAME	SIGNATURE		BCIN

REGISTRATION INFORMATION

Required unless the design is exempt under 2.17.5.1. of the Building Code

Justin Simpson O/A Simpson Architecture	203362
FIRM NAME	BCIN

[illegible]

The Jackson's

27 Brock St.
Penetanguishene, ON L9M
1R9

Site Plan

Project Number	25-009
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Issued For Permit Date	25-07-03
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Drawn By	Justin Simpson
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BCIN #	123605
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A02

Scale	1/8" = 1'-0"
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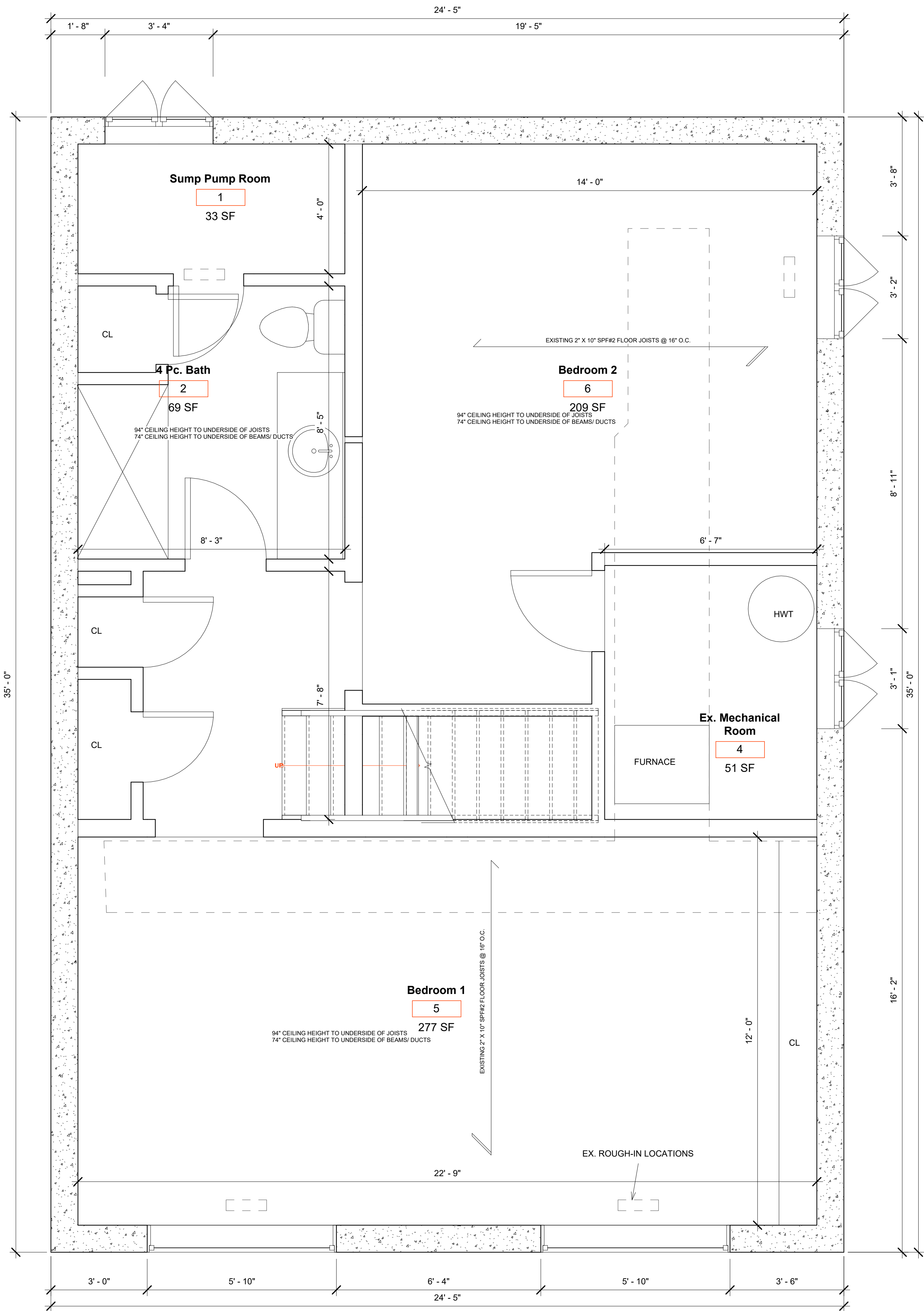
- | | | | | | | | | |
|---|---|--------|---|---|-----------|------|-----------|------|
| <p>The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer</p> <p style="text-align: center;">QUALIFICATION INFORMATION</p> <p>Required unless the design is exempt under 2.17.5.1. of the Building Code</p> <table border="1"> <tr> <td>Justin Simpson</td> <td>Justin Simpson
<small>(Indicate whether you are a Designer or Architect. If both, list both titles.)</small></td> <td>123605</td> </tr> <tr> <td>NAME</td> <td>SIGNATURE</td> <td>BCIN</td> </tr> </table> | | | Justin Simpson | Justin Simpson
<small>(Indicate whether you are a Designer or Architect. If both, list both titles.)</small> | 123605 | NAME | SIGNATURE | BCIN |
| Justin Simpson | Justin Simpson
<small>(Indicate whether you are a Designer or Architect. If both, list both titles.)</small> | 123605 | | | | | | |
| NAME | SIGNATURE | BCIN | | | | | | |
| <p style="text-align: center;">REGISTRATION INFORMATION</p> <p>Required unless the design is exempt under 2.17.5.1. of the Building Code</p> <table border="1"> <tr> <td>Justin Simpson O/A Simpson Architecture</td> <td>203362</td> </tr> <tr> <td>FIRM NAME</td> <td>BCIN</td> </tr> </table> | | | Justin Simpson O/A Simpson Architecture | 203362 | FIRM NAME | BCIN | | |
| Justin Simpson O/A Simpson Architecture | 203362 | | | | | | | |
| FIRM NAME | BCIN | | | | | | | |

[illegible]

27 Brock St.
Penetanguishene, ON L9M
1R9

Project Number	25-009
Issued For Permit Date	25-07-03
Drawn By	Justin Simpson
BCIN #	123605

Scale $1/2" = 1'-0"$





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Justin Simpson O/A Simpson Architecture	203362
FIRM NAME	BCIN

Scale $1/2" = 1'-0"$



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Justin Simpson O/A Simpson Architecture	203362
FIRM NAME	BCIN

[illegible]

The Jackson's

27 Brock St.
Penetanguishene, ON L9M
1R9

Existing Second Floor Plan

Project Number	25-009
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Issued For Permit Date	25-07-03
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Drawn By Justin Simpson

A05

Scale As indicated

Window Schedule					
Type Mark	Clear Opening		Sill Height	Phase Created	Comments
	Width	Height			
62	2' - 10"	3' - 0"	3' - 0"	Existing	
64	4' - 0"	5' - 0"	3' - 0"	Existing	
64	4' - 0"	5' - 0"	3' - 0"	Existing	
64	4' - 0"	5' - 0"	3' - 0"	Existing	
66	2' - 6"	3' - 0"	4' - 0"	Existing	
67	3' - 0"	3' - 9"	4' - 0"	Existing	
71	5' - 2"	5' - 8"	1' - 5"	Existing	
72	5' - 8"	5' - 8"	1' - 5"	Existing	
72	5' - 8"	5' - 8"	1' - 5"	Existing	
73	2' - 6"	3' - 0"	4' - 6"	Existing	
73	2' - 6"	3' - 0"	3' - 0"	New Construction	2-2" x 8" SPF#2
74	3' - 4"	3' - 0"	3' - 8 1/2"	Existing	
75	5' - 10"	2' - 5"	4' - 7"	Existing	
75	5' - 10"	2' - 5"	4' - 7"	Existing	
76	3' - 1"	2' - 4"	4' - 7"	Existing	
77	3' - 2"	2' - 4"	4' - 7"	Existing	
79	5' - 7 25/32"	2' - 11 31/32"	2' - 7 1/2"	Existing	
79	5' - 7 25/32"	2' - 11 31/32"	2' - 7 1/2"	Existing	

Door Schedule						
Door Number	Door Type	Width	Height	Sill Height	Phase Created	Header Size
5	37	2' - 6"	7' - 0"	0' - 0"	Existing	
7	37	2' - 6"	7' - 0"	0' - 0"	Existing	
8	62	2' - 8"	6' - 8"	0' - 0"	Existing	
9	37	2' - 6"	7' - 0"	0' - 0"	New Construction	2-2" x 6" SPF#2 L.B. ONLY
10	37	2' - 6"	7' - 0"	0' - 0"	New Construction	2-2" x 6" SPF#2 L.B. ONLY
11	37	2' - 6"	7' - 0"	0' - 0"	New Construction	2-2" x 6" SPF#2 L.B. ONLY
14	54	4' - 0"	6' - 8"	0' - 0"	New Construction	2-2" X 12" SPF#2 L.B. ONLY
15	52	5' - 0"	7' - 0"	0' - 0"	New Construction	2-2" X 12" SPF#2 L.B. ONLY
16	57	2' - 2"	6' - 8"	0' - 0"	New Construction	2-2" x 6" SPF#2 L.B. ONLY
17	38	2' - 6"	6' - 8"	0' - 0"	New Construction	2-2" x 6" SPF#2 L.B. ONLY
18	38	2' - 6"	6' - 8"	0' - 0"	New Construction	2-2" x 6" SPF#2 L.B. ONLY
20	38	2' - 6"	6' - 8"	0' - 0"	New Construction	2-2" x 6" SPF#2 L.B. ONLY
21	58	1' - 6"	6' - 8"	0' - 0"	New Construction	2-2" x 6" SPF#2 L.B. ONLY
22	57	2' - 2"	6' - 8"	0' - 0"	New Construction	2-2" x 6" SPF#2 L.B. ONLY
23	37	2' - 6"	7' - 0"	0' - 0"	Existing	
24	62	2' - 8"	6' - 8"	0' - 0"	New Construction	2-2" x 6" SPF#2 L.B. ONLY
25	37	2' - 6"	7' - 0"	0' - 0"	New Construction	2-2" x 6" SPF#2 L.B. ONLY
26	37	2' - 6"	7' - 0"	0' - 0"	New Construction	2-2" x 6" SPF#2 L.B. ONLY
28	37	2' - 6"	7' - 0"	0' - 0"	New Construction	2-2" x 6" SPF#2 L.B. ONLY
29	37	2' - 6"	7' - 0"	0' - 0"	New Construction	2-2" x 6" SPF#2 L.B. ONLY
30	57	2' - 2"	6' - 8"	0' - 0"	New Construction	2-2" x 6" SPF#2 L.B. ONLY
31	38	2' - 6"	6' - 8"	0' - 0"	New Construction	2-2" x 6" SPF#2 L.B. ONLY
32	57	2' - 2"	6' - 8"	0' - 0"	Existing	
33	57	2' - 2"	6' - 8"	0' - 0"	Existing	
34	38	2' - 6"	6' - 8"	0' - 0"	Existing	
36	36	2' - 8"	7' - 0"	0' - 0"	New Construction	2-2" x 6" SPF#2 L.B. ONLY
37	57	2' - 2"	6' - 8"	0' - 0"	Existing	
38	57	2' - 2"	6' - 8"	0' - 0"	Existing	
40	34	3' - 0"	7' - 0"	0' - 0"	Existing	
41	34	3' - 0"	7' - 0"	0' - 0"	New Construction	2-2" x 6" SPF#2 L.B. ONLY
43	57	2' - 2"	6' - 8"	0' - 0"	New Construction	2-2" x 6" SPF#2 L.B. ONLY
45	37	2' - 6"	7' - 0"	0' - 0"	New Construction	2-2" x 6" SPF#2 L.B. ONLY
46	55	5' - 0"	6' - 8"	0' - 0"	New Construction	2-2" X 12" SPF#2 L.B. ONLY
47	37	2' - 6"	7' - 0"	0' - 0"	Existing	
49	37	2' - 6"	7' - 0"	0' - 0"	New Construction	2-2" x 6" SPF#2 L.B. ONLY

NOTE: ALL SMOKE ALARMS AND CARBON MONOXIDE DETECTORS TO BE PERMANENTLY CONNECTED TO AN ELECTRICAL CIRCUIT






SMOKE DETECTOR



CARBON MONOXIDE DETECTOR

CARBON MONOXIDE DETECTOR conforming with CAN/CGA-6.19, or UL2034 shall be installed on or near the ceiling in each room in which there is installed a solid fuel-burning appliance. Carbon monoxide detector(s) shall be wired so that its activation will activate the smoke alarms or be equipped with an alarm that is audible within bedrooms when the intervening doors are closed.

AREA LEGEND		
IMAGE	DESCRIPTION	AREA
	BASEMENT AREA LOCATION	912.04 SQFT
	UPSTAIRS AREA LOCATION	930.84 SQFT
	MAIN FLOOR AREA LOCATION	828.75 SQFT

IMPORTANT NOTE: NO CHANGES TO EXISTING FLOOR LAYOUT OF UPSTAIRS UNIT



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FIRM NAME	BCIN

Scale $3/4" = 1'-0"$

